



ATTACHMENT BOOKLET FOR ORDINARY COUNCIL MEETING

12 December 2024 at 5:00pm

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Cost Plan Summary

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Code	Description	Quantity	Unit	Rate	Total
1	Restoration Works	484	m2	3,219.01	1,558,000
2	Kitchen and Bar	30	m2	6,833.33	205,000
3	Chair and Table Storage	31	m2	1,064.52	33,000
4	Southern Breakout Verandah	43	m2	2,860.47	123,000
5	Mezzanine Stair and Stage Platform Lift	11	m2	9,636.36	106,000
6	Front of Building Works	1	Item	229,000.00	229,000
7	Stage AV and Blackout	1	Item	367,000.00	367,000
8	PWD Toilet	27	m2	3,629.63	98,000
9	Stage Change Room	13	m2	9,615.38	125,000
10	New Wastewater / Septic and Water Services to Kitchen	1	Item	82,000.00	82,000
	Sub-Total	596	m2	4,909.40	2,926,000
11	Locality Allowance; Mingenew	15	%		439,000
	Net Construction Cost Total	596	m2	5,645.97	3,365,000
12	Design Contingency	10	%		337,000
13	Construction Contingency	10	%		371,000
	ESTIMATED TOTAL CONSTRUCTION COST EXCL GST				4,073,000
	NOTES & EXCLUSIONS				
14	The rates used in this OPC are based on the works being procured via a conventional tendering process				
15	This Opinion of Probable Cost is not a cost control document and should not be used for construction contract or ordering purposes				
16	The Western Australian construction market, at present, is extremely volatile. Skilled labour shortages and supply chain issues have led to notable cost escalation increases since 2021. We think it is prudent to acknowledge that cost escalation is a high risk for any development currently in Western Australia.				
	<u>This Opinion of Probable Cost is based on the following:</u>				
17	- Architectural drawings developed by Studio Mango dated 3rd July 2024				
18	- Structural Building Report developed by Structerre dated 15th November 2018				
	<u>The following has been specifically excluded from this Opinion of Probable Cost for which separate provisions should be made as required:</u>				
19	- Finance costs				
20	- Government and local authority charges				
21	- New leach drains and septic tanks				
22	- Artwork				

Cost Plan Summary

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Code	Description	Quantity	Unit	Rate	Total
23	- Relocation costs				
24	- Loose furniture and equipment				
25	- Professional fees				
26	- Escalation				
27	- Goods and services tax				

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

PRELIMINARIES

1	Allowance for Builder's Preliminaries	1	Item	286,285.00	286,285
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DEMOLITION

<u>Asbestos Containing Materials</u>					
2	Remove corrugated sheeting to western external wall	92	m2	50.00	4,600
3	Remove external wall cladding to northern, eastern and southern elevations including all trims and cover battens. etc.	113	m2	90.00	10,170
4	Remove internal wall linings including all trims and cover battens, etc.	28	m2	80.00	2,240
5	Remove splashback	3	m2	100.00	300
6	Remove ceilings	38	m2	15.00	570
7	Remove ceiling mouldings	56	m	5.00	280
8	Remove electrical board and shroud	3	No	500.00	1,500
9	Allowance for the disposal of ACM materials	1	Item	15,000.00	15,000
10	Allowance for monitoring, inspections, testing and reporting associated with ACM removal	1	Item	15,000.00	15,000
<u>Demolition</u>					
11	Carefully remove floorboards and timber sub-floor under stage and set aside material for re-use	5	m2	250.00	1,250
12	Carefully remove floorboards and set aside for re-use	6	m2	75.00	450
13	Demolish back deck and stairs (msd. on plan)	15	m2	100.00	1,500
14	Demolish steel stair and landing (msd. on plan)	5	m2	150.00	750
15	Demolish external concrete steps (msd on plan)	3	m2	300.00	900
16	Carefully remove existing blackbutt wall linings and set aside for re-use	13	m2	50.00	650
17	Remove awning roof sheeting (msd. on plan)	24	m2	50.00	1,200
18	Remove brick paving and set aside for re-use	68	m2	20.00	1,360
19	Remove masonry wall	15	m2	95.00	1,425
20	Remove ceilings with battens over	383	m2	25.00	9,575
21	Remove bitumen	10	m2	60.00	600
22	Remove existing concrete slab pavers	24	m2	20.00	480
23	Carefully remove existing north-west brick wall and set aside existing bricks for re-use	43	m2	200.00	8,600
24	Remove plasterboard wall lining	414	m2	30.00	12,420
25	Remove timber stud frame wall	133	m2	50.00	6,650
26	Remove ceiling mouldings	139	m	5.00	695
27	Remove servery joinery unit	8	m	110.00	880
28	Remove kerb	22	m	10.00	220
29	Remove 200 high timber trim fixed to wall	9	m	10.00	90

Cost Plan Detail

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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

DEMOLITION

(Continued)

30	Remove pelmet	11	m	15.00	165
31	Remove existing external door architraves	22	m	15.00	330
32	Remove existing internal door architraves	41	m	15.00	615
33	Carefully remove existing footlight lining in narrow widths and set aside for re-use Remove footlight lining in narrow widths, 300 wide	9	m	75.00	675
34	Form new opening approx. 900 wide x 2100 high for new single swing door in existing timber framed wall	2	No	750.00	1,500
35	Remove western windows, approx. 2000 wide x 600 high	2	No	250.00	500
36	Remove single swing internal door, door frame and serevery	1	No	200.00	200
37	Remove timber sliding door and top track, note: inset brass bottom track to be retained	3	No	200.00	600
38	Remove single swing external door and door frame	6	No	200.00	1,200
39	Remove single swing internal door and door frame	9	No	200.00	1,800
40	Remove existing double swing escape door and door frame	1	No	400.00	400
41	Remove white panels fixed to wall, approx. 900 wide x 300 high	5	No	150.00	750
42	Allowance to remove all redundant items, and clear out under stage	1	Item	2,500.00	2,500
43	Allowance for sundry demolition	1	Item	2,500.00	2,500

SUBSTRUCTURE

44	Modify timber sub-floor frame to accommodate setdown for recessed entry matt	6	m2	480.00	2,880
45	Remove course of existing brickwork and provide new concrete sill to 850 wide external door	1	No	1,500.00	1,500
46	Excavate for, dowel in and provide new approx. 300 wide x 300 high reinforced concrete strip footing with surface finish to threshold of sliding doors	19	m	290.00	5,510
47	Excavate for, dowel into existing footing with 4-N12 bars @ 800 ctrs, and provide new approx. 300 wide x 500 high (height assumed) reinforced concrete strip footing for existing masonry wall to be rebuilt	7	m	320.00	2,240
48	Excavate for and provide new pad footing for column (assume 1200 x 1200 x 400 deep)	1	No	1,000.00	1,000
49	Concrete encasement of 310 UC's, 810 x 530 x 1200 high (height assumed)	2	No	2,500.00	5,000
50	Allowance to undertake thorough inspection of timber sub-floor condition, ventilation and clearances	1	Item	3,000.00	3,000

COLUMNS

	<u>Front Portal Frame</u>				
51	Cut out base of rusted column, extended into footing with welded plate, treat rust and waterproof base of column	1	No	3,200.00	3,200
52	Dig out around column, clean and repair rust, and waterproof base of column	1	No	1,600.00	1,600

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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

COLUMNS

(Continued)

53	Clean back poor paint, remove and treat rust and repaint portal frame in proprietary 3 coat steel protection system	1	Item	4,500.00	4,500
	<u>Remaining</u>				
54	Dig out base of steel columns, report significant degradation, treat minor rust, waterproof base of column	14	No	600.00	8,400
55	Clean back poor paint, remove and treat rust and repaint exposed columns in proprietary 3 coat steel protection system	14	No	1,200.00	16,800

STAIRCASES

56	1250 wide timber (assumed) stair case with timber treads (landing decking msd. sep.)	2	m/rise	1,800.00	3,600
57	Timber (assumed) landing deck on and including posts	4	m2	450.00	1,800

ROOF

58	Allowance for new awning on steel RHS purlins complete with steel framing to match existing including roof sheeting, purlins, gutter, flashings, cappings as required	25	m2	560.00	14,000
59	Aircell insulbreak 55 to underside of existing purlins including under battens	477	m2	60.00	28,620
60	Allowance to clean back, treat trust and paint existing awning struts and re-sheet existing awning on new purlins with new gutter	24	m2	280.00	6,720
61	Replace edge gutter	63	m	260.00	16,380
62	Replace barge capping	30	m	120.00	3,600
63	5400 long ridge vent installed into existing ridge capping including making good	3	No	4,200.00	12,600
64	Replace existing downpipe with 150 diameter colorbond type	4	No	750.00	3,000
65	Allowance for roof safety access system	1	Item	15,000.00	15,000

EXTERNAL WALLS

	<u>Masonry</u>				
66	Rebuild existing masonry cavity wall with recycled brickwork externally previously removed and common brickwork internally (North & South West walls)	85	m2	640.00	54,400
67	Allowance to repoint brickwork	499	m2	120.00	59,880
68	Allowance to replace existing vent bricks with galvanised steel screens	32	No	550.00	17,600
69	Allowance to check wall ties	1	Item	5,000.00	5,000
	<u>Partitions and Linings</u>				
70	13 thk flushed and painted plasterboard lining on two layers of insulated 90 stud frame	29	m2	300.00	8,700
71	9 thk painted vertical groove fibre cement sheet fixed on battens over foil and insulation	28	m2	235.00	6,580
72	Vertical corrugated colorbond sheeting including all necessary flashings, cappings, etc on 70 x 35 H2 battens, R2.5 insulation and foil	94	m2	230.00	21,620
73	9 thk painted fibre cement sheet on foil, 70 x 35 battens and insulation including 44 x 66 cover strips	43	m2	220.00	9,460

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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

EXTERNAL WALLS

(Continued)

74	13 thk flushed and painted plasterboard with insulation fixed to existing timber stud frame	216	m2	95.00	20,520
75	Allowance to straighten and trim out existing timber stud frame walls	380	m2	30.00	11,400
76	Fill in existing opening, approx. 450 wide x 2100 high with 9 thk painted fibre cement on foil, 90 insulated stud and 10 thk flushed painted plasterboard	2	No	950.00	1,900
77	Extra over for framing out recess for services cupboard	1	No	800.00	800
78	Allowance for noggins and supports	1	Item	5,000.00	5,000
	<u>Sunshades and Window Fins</u>				
79	Horizontal fins above window comprising 40 x 40 x 3.0 galvanised SHS welded to existing portal frame clad both sides with 9 thk painted fibre cement	16	m	1,300.00	20,800
80	Vertical fins comprising 40 x 40 x 3.0 galvanised SHS welded to cast-in plate in sill footing clad with 9 thk painted fibre cement sheet both sides	9	m	360.00	3,240
81	Stainless steel head flashing above horizontal fin	16	m	200.00	3,200
82	Allowance for 350 deep painted compressed fibre cement sunshade around northern windows	10	m	580.00	5,800

WINDOWS

	<u>Aluminium Framed Windows</u>				
83	Combination awning / fixed windows into existing opening	3	m2	1,200.00	3,600
	<u>Works to Existing Windows</u>				
84	Eastern steel framed windows, allow to remove existing glazing, restore frames as required and engage specialist subcontractor to repaint and reglaze with safety glass	16	m2	850.00	13,600
85	Extra over allowance to above for structural upgrade	1	Item	3,000.00	3,000
86	Upper level windows, allow to remove glazing, refurbish existing frames and hardware, reglaze, and repaint	36	m2	650.00	23,400
87	Extra over to provide remote power actuators to openable pivot windows	1	Item	12,500.00	12,500
88	Remove existing glazing and replace with new safety glass with translucent film	7	m2	550.00	3,850

EXTERNAL DOORS

	<u>Aluminium Framed Door / Windows</u>				
89	Powdercoated aluminium sliding door into existing openings including all necessary hardware	23	m2	1,200.00	27,600
	<u>Timber Door and Door Frames</u>				
90	2340 wide x 2040 high solid core double swing escape door clad in vertical jointed FC sheet one side, clad with blackbutt lining internal to match adjacent wall finish including all necessary frames, hardware and paint / coatings	1	No	6,000.00	6,000
91	Allowance to adjust, rehang, restore existing 2350 wide x 2560 high overall double swing timber entry doors, door frames and provide new hardware and paint / coatings as required	1	No	2,500.00	2,500

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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

EXTERNAL DOORS

(Continued)

92	820 wide x 2040 high solid core single swing exit door including all necessary, frames, architraves, hardware and paint	2	No	2,400.00	4,800
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INTERNAL WALLS

93	90 insulated stud wall with 6 thk painted fibre cement each side complete with 42 x 11 cover strips over joints	5	m2	275.00	1,375
94	90 insulated stud wall with 13 thk flushed and painted plasterboard each side	48	m2	230.00	11,040
95	100 SHS frame bolted to masonry wall with 31 x 31 brushbox plywood lining boards on backing cloth polyester insulation both sides including matching trims to edges	8	m2	550.00	4,400
96	100 x 50 hardwood battens fixed between welded frame and sub-floor	6	m2	650.00	3,900
97	Frame out projector slots	6	No	220.00	1,320
98	Extra over for framing 900 wide x 2100 high knockout for future opening to under stairs	1	No	550.00	550
99	Allowance for noggins and supports	1	Item	2,500.00	2,500

INTERNAL DOORS

100	720 wide x 2040 high service cupboard door lined one side with blackbutt lining to match existing adjacent wall finish including frames, hardware and all required painting / coatings	1	No	3,800.00	3,800
101	1250 wide x 2040 high overall solid core cat and kitten door including framing, hardware and paint	1	No	3,200.00	3,200
102	720 wide x 2040 high single swing hollow core door including framing, hardware and paint	3	No	1,800.00	5,400
103	Allowance to straighten, rehang, provide new hardware and coating to existing 1200 wide x 800 high timber lined under stage doors	6	No	700.00	4,200

WALL FINISHES

104	Restore blackbutt wall linings and reinstate	16	m2	580.00	9,280
105	Sand back and re-coat blackbutt wall linings	55	m2	60.00	3,300
106	Make good external render and repaint	30	m2	50.00	1,500
107	Make good internal render and repaint	56	m2	40.00	2,240
108	Repaint external masonry wall bays (different colour each bay)	69	m2	35.00	2,415
109	Make good existing brickwork and repaint	69	m2	30.00	2,070
110	Repaint perforated plasterboard around mezzanine box	20	m2	20.00	400
111	Extra over for black paint to stage	149	m2	10.00	1,490
112	Sand back, restore and reseal timber proscenium, approx. 300 wide	27	m	35.00	945
113	Straighten and refix top trim	51	m	30.00	1,530
114	Provide painted timber trims around projector openings	6	No	400.00	2,400
115	Acoustic Wall Treatments (Provisional Sum)	1	Item	35,000.00	35,000

Cost Plan Detail

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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

FLOOR FINISHES

116	Sand back, treat squeaking boards, replace splinted patches with recovered floor boards, restore and reseal existing hardwood floors to stairs (msd. on plan)	4	m2	150.00	600
117	Sand back, treat squeaking boards, replace splinted patches with recovered floor boards, restore and reseal existing hardwood floors	381	m2	70.00	26,670
118	Fill in footlights with reclaimed restored timber boards and reseal in narrow widths n.e. 300 wide	9	m	240.00	2,160
119	Recessed entry matt	6	m2	1,250.00	7,500
120	Allowance for skirtings	12	m	55.00	660
121	Badminton court linemarking	1	Item	2,000.00	2,000

CEILING FINISHES

122	100 SHS welded frame fixed to masonry wall with select decorative brushbox plywood finish to top and bottom including matching timber trims to edges	6	m2	1,000.00	6,000
123	Perforated corrugated colorbond ceiling sheeting fixed on 70 x 35 battens to underside of existing ceiling joists over black acoustic scrim sheet; white side down	132	m2	380.00	50,160
124	Perforated corrugated colorbond ceiling sheeting fixed on 70 x 35 battens to underside of existing ceiling joists over black acoustic scrim sheet; grey side down	177	m2	380.00	67,260
125	9 thk screw fixed flushed and painted (black) fibre cement sheet to proscenium arch	6	m2	220.00	1,320
126	9 thk screw fixed flushed and painted fibre cement sheet fixed to existing ceiling joists	104	m2	190.00	19,760
127	40 thk kooltherm foil face insulation screwed to top of existing ceiling joists	473	m2	85.00	40,205
128	75 thk polyester ceiling battens laid between existing ceiling joists	473	m2	20.00	9,460
129	Allowance to check existing batten eaves, re nail and/or replace sections where required	7	m2	100.00	700
130	Make good existing rendered concrete soffit and repaint	29	m2	60.00	1,740
131	600 wide permanent plywood crawlways constructed in roof space	59	m	50.00	2,950
132	Modify existing ceiling frame, frame and line for blackout blind recesses	58	m	120.00	6,960
133	Colorbond channel between perforated colorbond ceiling	87	m	80.00	6,960
134	Install colorbond Z channel to support existing timber slats	37	m	65.00	2,405
135	42 x 11 timber ceiling cornice, painted	82	m	35.00	2,870
136	Extra over for providing out roof space access hatch in fibre cement ceiling	1	No	1,800.00	1,800
137	Allowance for bulkheads	1	Item	3,000.00	3,000
138	Allowance for access panels	1	Item	3,000.00	3,000
139	Allowance for providing additional moveable plywood crawl boards	1	Item	1,000.00	1,000

FITMENTS

140	Manually operated stage curtains	47	m2	350.00	16,450
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Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
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Autocode	Description	Quantity	Unit	Rate	Total
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Restoration Works

(Continued)

FITMENTS

(Continued)

141	Stage left and right curtains, 1000 wide x 2200 high (assumed)	2	No	1,500.00	3,000
142	Stair balustrade	7	m	800.00	5,600
143	Stair nosings	25	m	120.00	3,000
144	Allowance for fire extinguishers and blankets	1	Item	5,000.00	5,000
145	Allowance for statutory signage	1	Item	5,000.00	5,000

SPECIAL EQUIPMENT

146	Allowance for Audiovisual	1	Item	25,000.00	25,000
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HYDRAULIC SERVICES

147	Allowance for hydraulic and stormwater services	1	Item	30,000.00	30,000
148	Allowance for builders works in connection	1	Item	750.00	750

ELECTRICAL SERVICES

149	Allowance for Electrical and Communications Services	1	Item	152,000.00	152,000
150	Allowance for builders works in connection	1	Item	3,800.00	3,800

EXTERNAL WORKS

151	Box out, prepare sub-grade and provide new concrete steps (msd on plan)	3	m2	550.00	1,650
152	Allowance to hone and seal existing concrete apron	12	m2	200.00	2,400
153	Box out, prepare sub-grade and provide new 100 thk sealed concrete apron	76	m2	130.00	9,880
154	Reinstate brick paving on sand	64	m2	75.00	4,800
155	Concrete kerb	20	m	60.00	1,200

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Kitchen and Bar

PRELIMINARIES

156	Allowance for Builder's Preliminaries	1	Item	38,245.00	38,245
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DEMOLITION

157	Carefully remove floorboards and set aside for re-use	13	m2	75.00	975
158	Form opening in double brick cavity wall for single swing door	1	No	750.00	750
159	Remove existing servery opening door, approx. 1500 wide x 900 high	1	No	200.00	200
160	Allowance for sundry demolition	1	Item	1,000.00	1,000

SUBSTRUCTURE

161	Framed plinth, nominal 1300 long x 750 wide lined with 18 thk water resistant compressed fibre cement sheet	1	No	2,200.00	2,200
162	18 thk water resistant compressed fibre cement sheet fixed to sub-floor	13	m2	260.00	3,380

COLUMNS

163	Allowance for structural steel columns inclusive connections and surface treatment	1	Item	4,000.00	4,000
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UPPER FLOORS

164	Upper floor comprising timber joist and plywood floor	6	m2	850.00	5,100
165	Extra over for tying into existing structure	1	Item	1,000.00	1,000

WINDOWS

166	Awning window	2	m2	1,200.00	2,400
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INTERNAL WALLS

167	90 stud wall with 6 thk flushed and painted fibre cement each side	18	m2	410.00	7,380
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INTERNAL SCREENS & BORROWED LIGHTS

168	Aluminium framed internal window, nominal 1800 long x 350 wide	1	No	1,500.00	1,500
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INTERNAL DOORS

169	820 wide x 2040 high single swing door including frame, hardware and paint	1	No	1,700.00	1,700
170	820 wide x 1100 high single swing door including frame, hardware and paint	1	No	1,500.00	1,500

WALL FINISHES

171	Restore and reinstate jarrah floorboards to wall under bar counter	5	m2	300.00	1,500
172	19 thk hoop pine plywood fixed to wall	6	m2	280.00	1,680

FLOOR FINISHES

173	Restore and reinstate jarrah floor boards including sealer	6	m2	650.00	3,900
174	Non-slip vinyl	13	m2	150.00	1,950
175	Waterproof membrane applied to fibre cement sheet	13	m2	80.00	1,040
176	Non-slip epoxy sealant applied to existing concrete slab	9	m2	50.00	450
177	Allowance for skirtings	35	m	40.00	1,400

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Kitchen and Bar

(Continued)

CEILING FINISHES

178	Timber framed covering ('island') lined with 19 thk hoop pine plywood on top, and 6 thk flushed and painted fibre cement to underside	1	Item	5,500.00	5,500
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FITMENTS

179	350 deep bar counter comprising stainless steel frame clad with recovered jarrah flooring, mitred all around	5	m	4,200.00	21,000
180	Stainless steel commercial benching with mid shelf	12	m	2,900.00	34,800
181	Extra over to above for welded sinks	4	No	1,500.00	6,000
182	1050 high railing to match existing	3	m	1,200.00	3,600
183	1000 high railing comprising 40 diameter top and middle rail on 75 x 50 RHS post	3	m	850.00	2,550
184	Shelves fixed to wall 1200 long x 300 deep	3	No	650.00	1,950
185	Allowance for fire extinguishers and blankets	1	Item	1,500.00	1,500
186	Allowance for statutory signage	1	Item	1,000.00	1,000

SPECIAL EQUIPMENT

187	Display fridge	1	No	8,000.00	8,000
188	Combination oven and cooktop	1	No	7,500.00	7,500
189	Rangehood	1	No	5,000.00	5,000
190	Fridge	1	No	3,000.00	3,000
191	Microwave	1	No	800.00	800

ELECTRICAL SERVICES

192	Allowance for Electrical and Communications Services	1	Item	12,000.00	12,000
193	Allowance for builders works in connection	1	Item	300.00	300

MECHANICAL SERVICES

194	Allowance for Mechanical Services	1	Item	7,000.00	7,000
195	Allowance for builders works in connection	1	Item	250.00	250

Cost Plan Detail



Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Chair and Table Storage

PRELIMINARIES

196	Allowance for Builder's Preliminaries	1	Item	6,520.00	6,520
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DEMOLITION

197	Allowance for sundry demolition	1	Item	1,000.00	1,000
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SUBSTRUCTURE

198	Allowance to build up levels and / or provide level surface under timber sub-floor to enable trolley storage system	31	m2	280.00	8,680
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INTERNAL DOORS

199	Provide bumpers to jambs of under stage doors	6	No	300.00	1,800
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SPECIAL EQUIPMENT

200	Proprietary custom made stage storage trolleys on heavy duty rollers nominally 3600 x 1000 capable of storing 250 chairs and 25 no. 1800 diameter fold up tables	1	Item	15,000.00	15,000
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Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Southern Breakout Verandah

PRELIMINARIES

201	Allowance for Builder's Preliminaries	1	Item	22,195.00	22,195
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DEMOLITION

202	Allowance for sundry demolition	1	Item	1,000.00	1,000
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SUBSTRUCTURE

203	Reinforced concrete pad footings including reinforcement	2	m3	950.00	1,900
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COLUMNS

204	Structural steel columns inclusive connections and surface treatment (assume 100 x 5.0 CHS)	0.24	t	15,000.00	3,600
205	250 diameter concrete sleeve at base of columns	4	No	650.00	2,600
206	Allow for bitumen coating to base of columns	4	No	150.00	600

ROOF

207	Allowance for structural steel roof structure inclusive of connections and surface treatment	0.30	t	15,000.00	4,500
208	Grey tinted polycarbonate twin wall roof sheeting fixed to hardwood purlins	43	m2	590.00	25,370
209	Hardwood purlins	34	m	120.00	4,080
210	Timber ceiling batten fixed to underside of joists (msd. sep.)	359	m	15.00	5,385

FITMENTS

211	Allowance for custom or proprietary steel and timber seats cast into paving :[1 no]	7	m	1,200.00	8,400
212	Allowance for sundry fitments	1	Item	500.00	500

HYDRAULIC SERVICES

213	Allowance for hydraulic services	1	Item	10,000.00	10,000
214	Allowance for builders works in connection	1	Item	500.00	500

ELECTRICAL SERVICES

215	Allowance for electrical services	1	Item	3,000.00	3,000
216	Allowance for builders works in connection	1	Item	500.00	500

EXTERNAL WORKS

217	Clear turf (extent assumed)	61	m2	20.00	1,220
218	Imported fill to build up levels (extent assumed)	86	m3	45.00	3,870
219	Final trim (extent assumed)	61	m2	15.00	915
220	Turf (extent assumed)	61	m2	60.00	3,660
221	Box out, prepare sub-grade and provide new 100 thk exposed aggregate	35	m2	210.00	7,350
222	Reinstate brick paving	19	m2	75.00	1,425
223	3c 1000 x 300 x 300 reconstituted limestone retaining wall on compacted foundation	21	m	420.00	8,820
224	Reinstate brick paving in narrow widths n.e. 300 wide	14	m	40.00	560
225	500 wide x 250 deep rocklined soakage drain	21	m	50.00	1,050

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Mezzanine Stair and Stage Platform Lift

PRELIMINARIES

226	Allowance for Builder's Preliminaries	1	Item	20,195.00	20,195
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DEMOLITION

227	Remove 1 No side stage staircase, note: floorboards to be carefully removed and set aside for re-use	2	m/rise	1,000.00	2,000
228	Remove section of sub-floor, note floorboards to be carefully remove and set aside for re-use	2	m2	75.00	150
229	Remove railing	2	m	100.00	200
230	Cut and form opening in stud wall, approx. 1200 wide x 2100 high	1	No	1,000.00	1,000
231	Cut and form opening in stud wall, approx. 900 wide x 2100 high	1	No	750.00	750
232	Allowance for sundry demolition	1	Item	500.00	500

SUBSTRUCTURE

233	Frame out for lift setdown and sheet with 19 thk plywood	2	m2	2,500.00	5,000
234	Frame out landing, tied into existing sub-floor	3	m2	450.00	1,350

STAIRCASES

235	1250 wide plywood staircase	3	m/rise	1,800.00	5,400
236	19 thk hoop pine to face of stair	7	m2	420.00	2,940

INTERNAL WALLS

237	90 insulated stud wall with 6 thk flushed and painted fire cement fixed both sides	6	m2	527.50	3,165
238	90 stud wall with 13 thk flushed and painted plasterboard both sides	2	m2	230.00	460

FLOOR FINISHES

239	Reinstate floor boards to landing including required restoration of boards, sanding and sealer	3	m2	650.00	1,950
240	Allowance for skirting	13	m	40.00	520

CEILING FINISHES

241	Flushed and painted plasterboard lining with insulation to underneath of staircase, raking	7	m2	160.00	1,120
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FITMENTS

242	Custom galvanised steel stair balustrade	6	m	1,000.00	6,000
243	1000 high railing comprising 40 diameter top and middle rail on 75 x 50 RHS post	3	m	850.00	2,550
244	Galvanised steel handrail fixed to wall	6	m	250.00	1,500
245	Stair nosings	20	m	120.00	2,400
246	75x50 RHS post for balustrade	1	No	350.00	350
247	Allowance for statutory signage	1	Item	1,000.00	1,000

SPECIAL EQUIPMENT

248	Allowance for proprietary platform lift	1	Item	40,000.00	40,000
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Cost Plan Detail



Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Mezzanine Stair and Stage Platform Lift

(Continued)

ELECTRICAL SERVICES

249	Allowance for electrical services	1	Item	5,000.00	5,000
250	Allowance for builders works in connection	1	Item	500.00	500

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Front of Building Works

PRELIMINARIES

251	Allowance for Builder's Preliminaries	1	Item	42,305.00	42,305
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DEMOLITION

252	Remove hard landscaping/pavings	377	m2	30.00	11,310
253	Remove turf	85	m2	15.00	1,275
254	Allowance for sundry demolition	1	Item	1,000.00	1,000

EXTERNAL WALLS

<u>Louvres</u>					
255	2810 long x 600 deep window louvre comprising 40 SHS steel frame fixed between steel column brick brickwork, clad with Colorbond over 18 thk painted compressed fibre cement sheet	8	No	4,200.00	33,600
<u>Signage</u>					
256	Allowance to remove, make good and reinstall existing main building signage	1	Item	3,000.00	3,000

EXTERNAL WORKS

<u>Hard Landscaping</u>					
257	Reinforced concrete strip footings including reinforcement	3	m3	950.00	2,850
258	Box out, prepare sub-grade and provide exposed aggregate	89	m2	210.00	18,690
259	Asphalt to car bays (assumed)	91	m2	150.00	13,650
260	Brick paved footpath	70	m2	110.00	7,700
261	Brick paving	22	m2	110.00	2,420
262	Brick paving in narrow widths n.e. 300 wide	30	m	60.00	1,800
263	Concrete upstand (assumed 500 high x 300 wide)	12	m	450.00	5,400
264	Allowance for linemarking	1	Item	1,000.00	1,000
<u>Outbuildings</u>					
265	Steel pergola comprising hot dip galvanised 150UB arbour frame with tensioned stainless steel wire above	1	Item	30,000.00	30,000
<u>Soft Landscaping</u>					
266	Allowance for soft landscaping and irrigation (front of building only)	1	Item	30,000.00	30,000
<u>External Hydraulics</u>					
267	Allowance for stormwater drainage	1	Item	8,000.00	8,000
<u>External Electrical</u>					
268	Allowance for lighting	1	Item	15,000.00	15,000

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Stage AV and Blackout

PRELIMINARIES

269	Allowance for Builder's Preliminaries	1	Item	67,900.00	67,900
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WINDOWS

270	Remote controlled roll down blackout blinds recessed into ceiling	95	m2	280.00	26,600
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SPECIAL EQUIPMENT

271	Provisional allowance for basic Audiovisual	1	Item	100,000.00	100,000
272	Provisional allowance for basic Stage Lighting	1	Item	80,000.00	80,000
273	Provisional allowance for basic Stage Equipment	1	Item	65,000.00	65,000

ELECTRICAL SERVICES

274	Allowance for Electrical and Communications Services	1	Item	25,000.00	25,000
275	Allowance for builders works in connection	1	Item	2,500.00	2,500

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autoco de	Description	Quantity	Unit	Rate	Total
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PWD Toilet

PRELIMINARIES

276	Allowance for Builder's Preliminaries	1	Item	18,375.00	18,375
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DEMOLITION

277	Remove existing window, approx. 2100 wide x 850 high	1	No	350.00	350
278	Allowance for sundry demolition	1	Item	500.00	500

SUBSTRUCTURE

279	Allowance for site preparation	1	Item	1,500.00	1,500
280	Reinforced concrete strip footings including reinforcement	2	m3	950.00	1,900
281	100 thk concrete slab on grade including formwork, reinforcement, concrete and surface finish	7	m2	180.00	1,260
282	Termite treatment	1	Item	500.00	500
283	Extra over for tying into existing adjacent structure	1	Item	625.00	625

COLUMNS

284	Allowance for structural steel columns inclusive connections and surface treatment	1	Item	2,500.00	2,500
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ROOF

285	Allowance for roof including all necessary framing, insulation, covering, flashings, cappings, gutters and downpipes	8	m2	585.00	4,680
286	Allowance for roof covering over verandah to fill in gap, complete	20	m2	560.00	11,200

EXTERNAL WALLS

287	External wall comprising corrugated colorbond cladding over foil on 90 insulated stud with 6 thk flushed and painted fibre cement lining internally	24	m2	445.00	10,680
288	Fill in existing opening, approx. 1600 wide x 850 high with 2 layers 90 insulated stud with 6 thk flushed and painted fibre cement each side	1	No	1,500.00	1,500

WINDOWS

289	Sliding window comprising obscure glazing and insect and security screens, 1500 wide x 600 high	1	No	1,600.00	1,600
290	Fixed louvre window, with insect and security screens, 550 wide x 850 high	1	No	1,200.00	1,200

EXTERNAL DOORS

291	920 wide x 2040 high solid core single swing door complete with door frame, hardware and paint	1	No	2,400.00	2,400
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WALL FINISHES

292	Wall tiling	5	m2	280.00	1,400
293	Waterproofing	1	m2	80.00	80

FLOOR FINISHES

294	Non-slip fully vitrified floor tiling on screed laid to falls and/or crossfalls	6	m2	350.00	2,100
295	Waterproofing	6	m2	80.00	480
296	200 high tiled skirting	9	m	50.00	450

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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PWD Toilet

(Continued)

CEILING FINISHES

297	60 thk flushed and painted fibre cement ceiling fixed to or suspended from roof framing	6	m2	190.00	1,140
298	Insulation	6	m2	35.00	210
299	Allowance for access panels	1	Item	500.00	500

FITMENTS

300	1700 long curved grab bar	1	No	1,000.00	1,000
301	350 long grab bar	1	No	300.00	300
302	Mirror	1	No	650.00	650
303	Paper towel dispenser	1	No	350.00	350
304	400 long x 150 deep shelf	1	No	500.00	500
305	Soap dispenser	1	No	250.00	250
306	Toilet roll holder	1	No	240.00	240
307	Coat hook	1	No	80.00	80
308	Allowance for statutory signage	1	Item	1,500.00	1,500
309	Allowance for sundry fitments	1	Item	500.00	500

HYDRAULIC SERVICES

310	Allowance for hydraulic services	1	Item	18,000.00	18,000
311	Allowance for builders works in connection	1	Item	1,000.00	1,000

ELECTRICAL SERVICES

312	Allowance for electrical services	1	Item	4,000.00	4,000
313	Allowance for toilet exhaust	1	Item	2,000.00	2,000
314	Allowance for builders works in connection	1	Item	500.00	500

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autoco de	Description	Quantity	Unit	Rate	Total
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Stage Change Room

PRELIMINARIES

315	Allowance for Builder's Preliminaries	1	Item	22,265.00	22,265
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DEMOLITION

316	Form opening in timber stud frame wall for single swing internal door	2	No	1,000.00	2,000
317	Allowance for sundry demolition	1	Item	1,000.00	1,000

SUBSTRUCTURE

318	Allowance for site preparation	1	Item	1,500.00	1,500
319	Reinforced concrete pad footings including reinforcement	1	m3	950.00	950
320	Reinforced concrete strip footings including reinforcement	2	m3	950.00	1,900
321	Timber sub-floor inclusive of posts, framing with 19 thk plywood over	12	m2	550.00	6,600
322	Termite treatment	1	Item	500.00	500
323	Extra over for tying into existing adjacent structure	1	Item	1,800.00	1,800

COLUMN

324	Allowance for structural steel columns inclusive of connections and surface treatment	1	Item	2,000.00	2,000
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ROOF

325	Allowance for metaldeck roof including all necessary framing, insulation, covering, flashings, cappings, gutters and downpipes	26	m2	585.00	15,210
326	Extra over for flashing to existing wall	29	m	70.00	2,030
327	Extra over for tying into existing structure	1	Item	2,500.00	2,500

EXTERNAL WALLS

328	190 blockwork	29	m2	320.00	9,280
329	Acrylic render finish	59	m2	85.00	5,015
330	External wall comprising 9 thk painted fibre cement cladding with 66 x 42 timber cover battens over foil on 2 layers of 90 insulated timber stud with 6 thk flushed and painted fibre cement internally	19	m2	585.00	11,115
331	External screen wall comprising vertical colorbond cladding fixed over foil on 90 stud frame with 6 thk flushed and painted fibre cement the other side	7	m2	415.00	2,905
332	Extra over allowance for tying screen wall into existing timber framed deck	1	Item	1,500.00	1,500

WINDOWS

333	Powdercoated aluminium framed louvres with aluminium blades, approx. 450 wide x 1500 high	2	No	1,300.00	2,600
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INTERNAL DOORS

334	820 wide x 2040 high solid core single swing door complete with door frame, hardware and paint	2	No	2,300.00	4,600
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FLOOR FINISHES

335	Paint application to plywood flooring	9	m2	40.00	360
336	Allowance for skirtings	11	m	55.00	605

Cost Plan Detail

Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autocode	Description	Quantity	Unit	Rate	Total
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Stage Change Room

(Continued)

CEILING FINISHES

337	Allowance for painted flush plasterboard ceiling	9	m2	150.00	1,350
338	Insulation	9	m2	35.00	315
339	Allowance for access panels	1	Item	500.00	500

FITMENTS

340	Mirrors	4	m2	650.00	2,600
341	Allowance for sundry fitments	1	Item	1,000.00	1,000
342	Allowance for statutory signage	1	Item	500.00	500

HYDRAULIC SERVICES

343	Allowance for hydraulic services	1	Item	15,000.00	15,000
344	Allowance for builders works in connection	1	Item	1,000.00	1,000

ELECTRICAL SERVICES

345	Allowance for Electrical Services	1	Item	4,000.00	4,000
346	Allowance for builders works in connection	1	Item	500.00	500

Cost Plan Detail



Project: Mingenew Town Hall	Details: Opinion of Probable Cost
Building: Opinion of Probable Cost	

Autoco de	Description	Quantity	Unit	Rate	Total
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New Wastewater / Septic and Water Services to Kitchen

PRELIMINARIES

347	Allowance for Builder's Preliminaries	1	Item	15,700.00	15,700
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DEMOLITION

348	Carefully remove floorboards and set aside for re-use	16	m2	75.00	1,200
349	Allowance for sanitary plumbing demolition	1	Item	3,500.00	3,500
350	Allowance for sundry demolition	1	Item	1,000.00	1,000

SUBSTRUCTURE

351	Reinstall timber floorboards including making good to framing as required	16	m2	350.00	5,600
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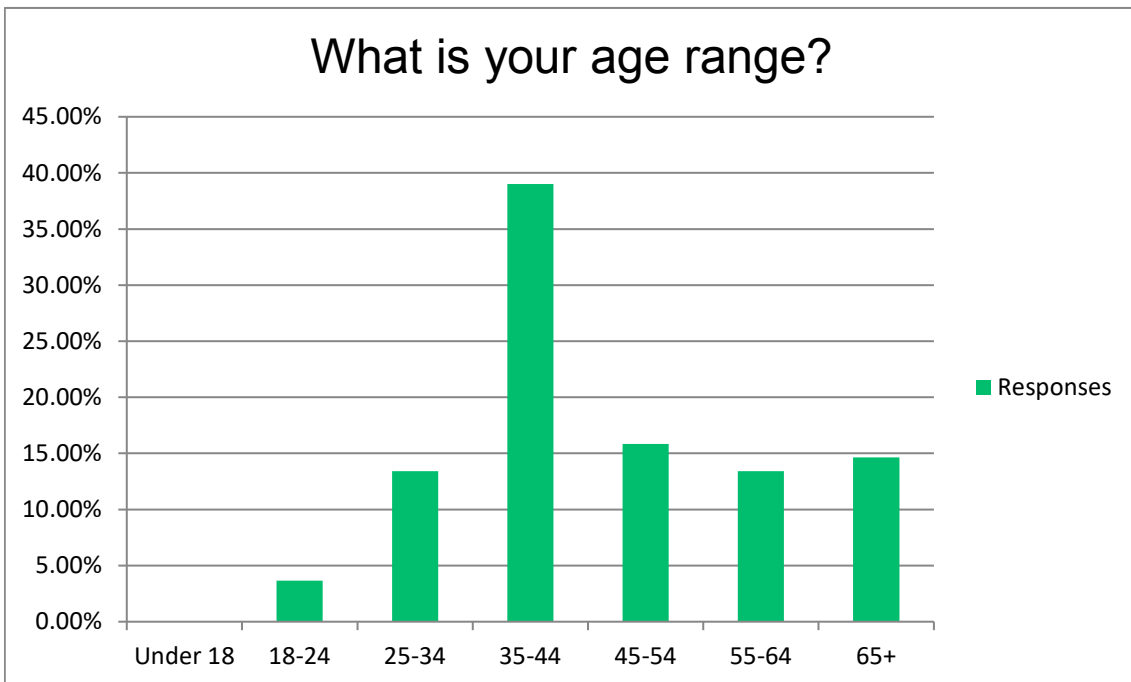
HYDRAULIC SERVICES

352	Allowance for hydraulic services	1	Item	25,000.00	25,000
353	Allowance for grease trap	1	Item	20,000.00	20,000
354	Allowance for gas services	1	Item	7,500.00	7,500
355	Allowance for builders works in connection	1	Item	2,500.00	2,500

Future of the Mingenew Town Hall

What is your age range?

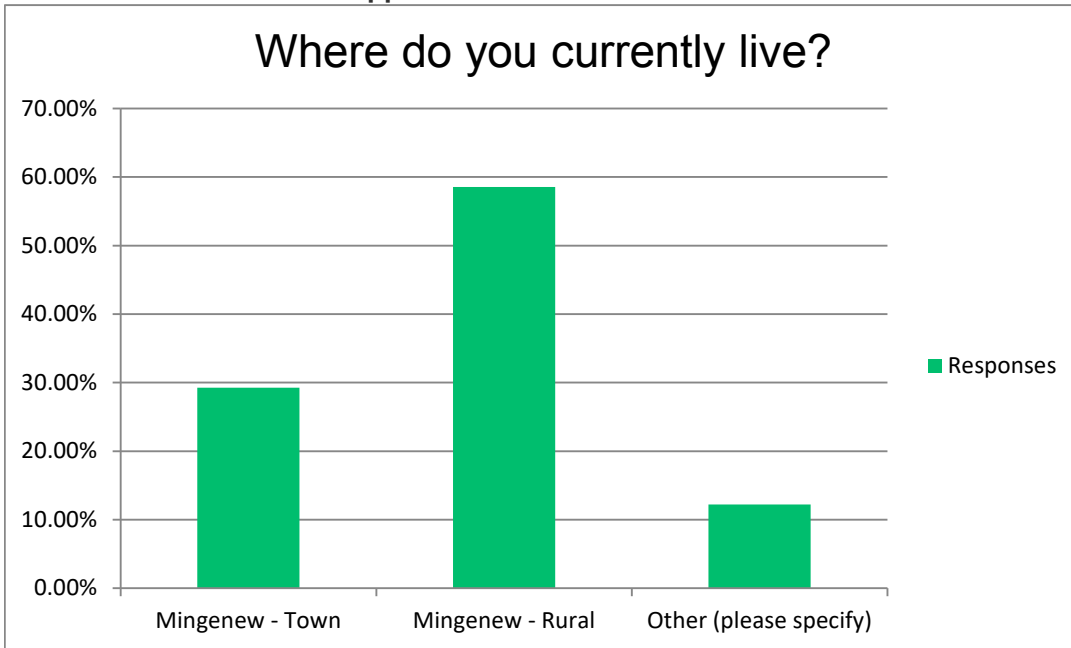
Answer Choices	Responses	
Under 18	0.00%	0
18-24	3.66%	3
25-34	13.41%	11
35-44	39.02%	32
45-54	15.85%	13
55-64	13.41%	11
65+	14.63%	12
Answered		82
Skipped		0



Future of the Mingenew Town Hall

Where do you currently live?

Answer Choices	Responses	
Mingenew - Town	29.27%	24
Mingenew - Rural	58.54%	48
Other (please specify)	12.20%	10
Answered		82
Skipped		0

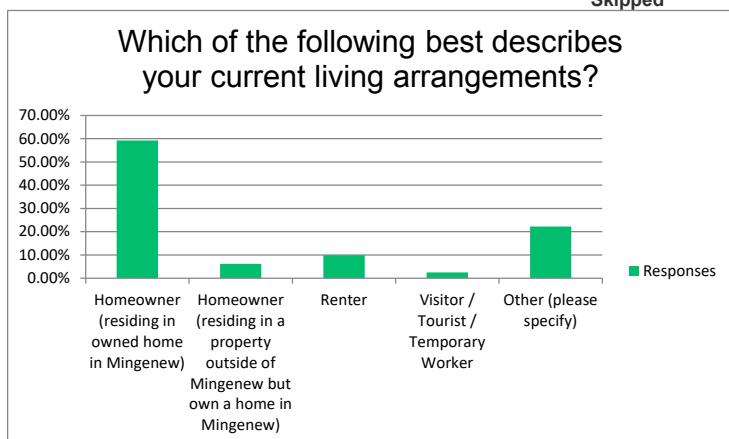


Respondent ID	Response Date	Other (please specify)	Tags
114240799636	Feb 09 2023	0 Over here regularly	
114229697423	Jan 26 2023	0 Carnarvon	
114228979399	Jan 25 2023	0 Dongara	
114228976303	Jan 25 2023	0 Neighbouring Shire	
114228864945	Jan 25 2023	0 Mullewa but from mingenew	
114228845348	Jan 25 2023	0 Used to live on Arradale for 25years	
114228772715	Jan 25 2023	0 Dongara. I am a teacher at MPS	
114228766780	Jan 25 2023	0 Geraldton	
114224075532	Jan 19 2023	0 Midlands Rd Irwin	
114223484145	Jan 18 2023	0 Neighbouring shire	

Future of the Mingenew Town Hall

Which of the following best describes your current living arrangements?

Answer Choices	Responses
Homeowner (residing in owned home in Mingenew)	59.26% 48
Homeowner (residing in a property outside of Mingenew but own a home in Mingenew)	6.17% 5
Renter	9.88% 8
Visitor / Tourist / Temporary Worker	2.47% 2
Other (please specify)	22.22% 18
Answered	81
Skipped	1

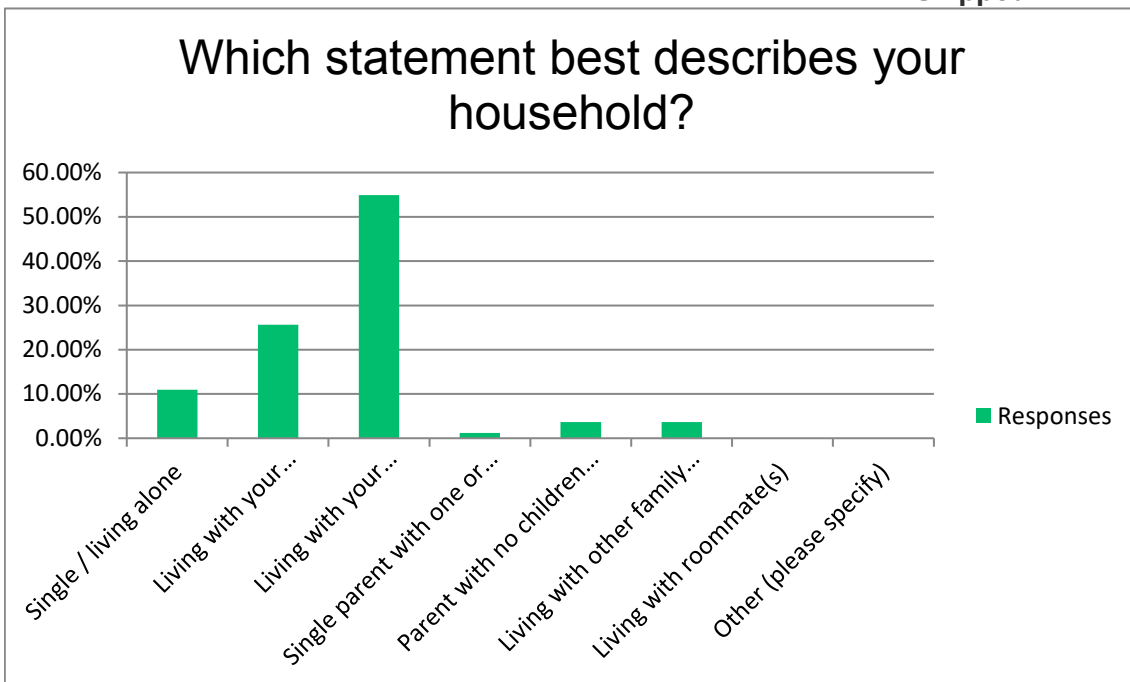


Respondent ID	Response Date	Other (please specify)	Tags
114241658224	Feb 10 2023 11:45 AM	Working	
114240874760	Feb 09 2023 05:51 PM	Live on farm	
114240529117	Feb 09 2023 06:49 AM	Full time worker living in supplied accomodation	
114237515366	Feb 06 2023 09:17 AM	In one of our employers farm houses	
114229697423	Jan 26 2023 04:51 PM	Community home	
114228979399	Jan 25 2023 09:45 PM	Ex Mingenew Police Officer	
114228976303	Jan 25 2023 09:41 PM	Property owner neighbouring shire	
114228845348	Jan 25 2023 05:48 PM	I lived on Arradale (Stokes)	
114228811465	Jan 25 2023 04:31 PM	Farm house	
114228772715	Jan 25 2023 02:51 PM	Homeowner in Dongara. Work in Mingenew	
114228766780	Jan 25 2023 02:34 PM	Grew up in Mingenew and parents still live there.	
114228754369	Jan 25 2023 01:58 PM	Farmer living outside of mingenew	
114225927195	Jan 21 2023 05:05 AM	Accommodation on Farm	
114224190410	Jan 19 2023 01:17 PM	Housing provided by employer	
114224098728	Jan 19 2023 09:49 AM	Own and live on a farm in Mingenew Shire, don't have a house in town.	
114223957145	Jan 19 2023 05:52 AM	Farm hand family	
114223484145	Jan 18 2023 08:58 PM	Resident for all purposes except location of house in neighbouring shire	
114223326409	Jan 18 2023 03:54 PM	Renting, looking to buy.	

Future of the Mingenew Town Hall

Which statement best describes your household?

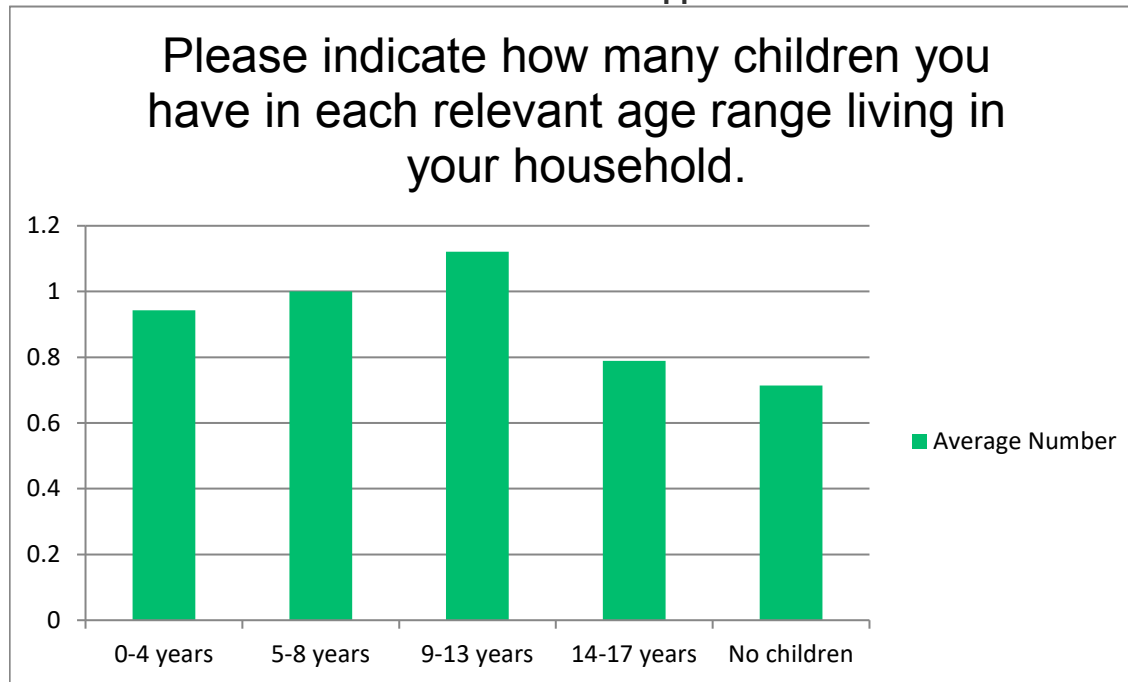
Answer Choices	Responses	
Single / living alone	10.98%	9
Living with your spouse/partner, no children	25.61%	21
Living with your spouse/partner and dependent children (under the age of 18)	54.88%	45
Single parent with one or more dependent children (under the age of 18)	1.22%	1
Parent with no children living at home	3.66%	3
Living with other family members (e.g. adult children, extended family)	3.66%	3
Living with roommate(s)	0.00%	0
Other (please specify)	0.00%	0
	Answered	82
	Skipped	0



Future of the Mingenew Town Hall

Please indicate how many children you have in each relevant age range living in your household.

Answer Choices	Average Number	Total Number	Responses	
0-4 years	0.942857143	33	51.47%	35
5-8 years	1	37	54.41%	37
9-13 years	1.121212121	37	48.53%	33
14-17 years	0.789473684	15	27.94%	19
No children	0.714285714	10	20.59%	14
			Answered	68
			Skipped	14

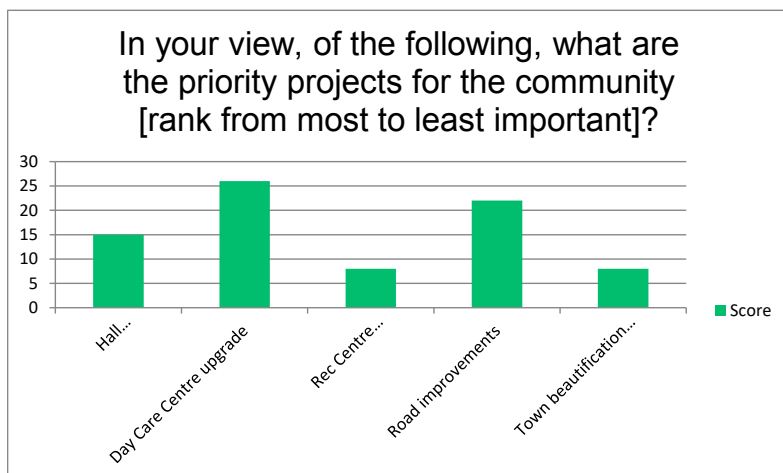


Future of the Mingenew Town Hall

In your view, of the following, what are the priority projects for the community [rank from most to least important]?

	1		2		3		4		5		Total
Hall refurbishment/replacement (including demolishing)	19.23%	15	21.79%	17	16.67%	13	23.08%	18	19.23%	15	78
Day Care Centre upgrade	33.77%	26	15.58%	12	15.58%	12	15.58%	12	19.48%	15	77
Rec Centre refurbishment	10.39%	8	20.78%	16	24.68%	19	18.18%	14	25.97%	20	77
Road improvements	28.57%	22	19.48%	15	22.08%	17	19.48%	15	10.39%	8	77
Town beautification and amenities	10.39%	8	20.78%	16	20.78%	16	23.38%	18	24.68%	19	77

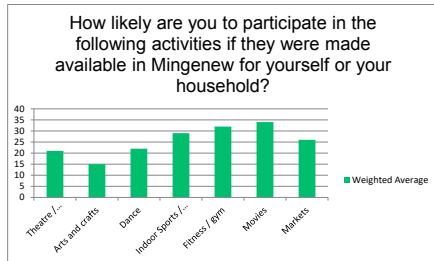
Answered
Skipped



Future of the Mingenew Town Hall

How likely are you to participate in the following activities if they were made available in Mingenew for yourself or your household?

	Very Likely	Somewhat Likely	Unsure	Somewhat Unlikely	Very Unlikely	Total	Weighted Average					
Theatre / performing arts	30.88%	21	32.35%	22	10.29%	7	16.18%	11	10.29%	7	68	2.43
Arts and crafts	23.08%	15	40.00%	26	12.31%	8	9.23%	6	15.38%	10	65	2.54
Dance	33.85%	22	20.00%	13	16.92%	11	12.31%	8	16.92%	11	65	2.58
Indoor Sports / Recreational activities	44.62%	29	32.31%	21	4.62%	3	9.23%	6	9.23%	6	65	2.06
Fitness / gym	45.71%	32	28.57%	20	5.71%	4	10.00%	7	10.00%	7	70	2.1
Movies	53.13%	34	23.44%	15	10.94%	7	6.25%	4	6.25%	4	64	1.89
Markets	42.62%	26	27.67%	17	14.75%	9	6.56%	4	8.20%	5	61	2.1
Other (please specify)											14	
											Answered	79
											Skipped	3



Respondent ID	Response Datether (please speci	Tags
114229697423	Jan 26 2023 0	Aboriginal Cultural dances, Cultural education/awareness, Meetings
114228976303	Jan 25 2023 0	Club celebrations, social gatherings, catered events, school holiday programs
114227587276	Jan 24 2023 0	Orchestras, Bands, Choirs
114224098728	Jan 19 2023 0	It won't let you select the same range twice (eg I am very likely to participate in both indoor sports, fitness and markets but it will only allow putting one as very likely. I will be somewhat likely to participate in movies, dance and arts and craft. I will be unlikely to participate in theatre but will support and watch.
114224056502	Jan 19 2023 0	VERY LIKELY
114224053869	Jan 19 2023 0	ALL VERY LIKELY
114223957145	Jan 19 2023 0	Won't let me select options. But highly likely for all
114223896924	Jan 19 2023 0	Can only select one, but want to select yes for ALL
114223685653	Jan 19 2023 1	Very likely to the ones I haven't selected as the question will not allow me to select .
114223484145	Jan 18 2023 0	All of the above somewhat likely
114223397174	Jan 18 2023 0	All
114223287875	Jan 18 2023 0	Program is not allowing me to tap the others dots. All are very likely.
11422246063	Jan 17 2023 0	Couldn't enter the same preference on more than one activity
114207046575	Dec 20 2022 0	ddsgdggdsg

Future of the Mingenew Town Hall

Please list any other activities, not listed in question 7, that could be held at the Town Hall, and not at an existing facility in Mingenew.

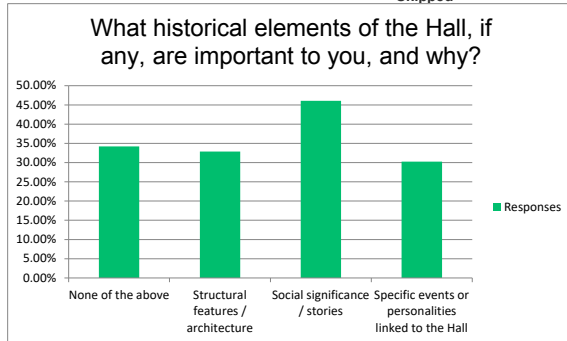
Answered 35
Skipped 47

Respondent ID	Response Date	Responses
114240805664	Feb 09 2023 03:35 PM	Indoor bowls, recreational activities for seniors - badminton etc, painting groups
114240803806	Feb 09 2023 03:31 PM	Look back on your records, there used bu be always something going on in the Hall. Repertory Club, hypnotist, square dance, kids disco, gym, music (we had Slim Dusty 3 times), kids gym, badminton and a lot of other activities. Times change and it if it involves money noone wants to know, unfortunately. I'
114240799636	Feb 09 2023 03:21 PM	None
114240079255	Feb 08 2023 10:36 PM	WeddingsLarge regional meetingsSchool concerts
114239998488	Feb 08 2023 09:06 PM	Emergency Evacuation Centre as the Shire Offices have a STAND Installation that enablesthe Communityto access WIFI so they can do WIFI calling to let family & friends know they are ok, check websites & social media for the latest Emergency Info and start insurance claims. (STAND = Strengthening 1
114239997454	Feb 08 2023 09:04 PM	Emergency Evacuation Centre as the Shire Offices have a STAND Installation that enablesthe Communityto access WIFI so they can do WIFI calling to let family & friends know they are ok, check websites & social media for the latest Emergency Info and start insurance claims. (STAND = Strengthening 1
114234003034	Feb 01 2023 04:47 PM	Boot scooting, Sports windups, funerals, reunions, yoga, Badminton,
114232258339	Jan 30 2023 07:05 PM	Fitness classes/ permanent gym equipment/ badminton
114232203543	Jan 30 2023 05:13 PM	Private and public dinner/dances, receptions eg MIG 25 year 5elebration. Traveling shows linking in with Coorow and Geraldton that require good acoustics.Remember Covid & social distancing - anything requiring a large space□
114229869408	Jan 26 2023 09:41 PM	Private events that need a large indoor space
114229853788	Jan 26 2023 09:22 PM	Social club, cadets, business seminars or forums,
114228979399	Jan 25 2023 09:45 PM	Community meetings
114228976303	Jan 25 2023 09:41 PM	Large formal events, specific activities that require large indoor area
114228943929	Jan 25 2023 08:53 PM	Bands , conferences, balls , dinner events
114228845348	Jan 25 2023 05:48 PM	Table tennis □ Elections
114228772715	Jan 25 2023 02:51 PM	School events
114228766780	Jan 25 2023 02:34 PM	Does having a suitable venue hire for big celebrations/funerals ect
114228765115	Jan 25 2023 02:29 PM	There where many many activities put forward in a previous survey. Perhaps to look back thru that. but ... will say that in the space of time ... many things have changed within community.. population decline.. business decline .. all quite big reflective issues when looking to spend considerable \$'s .
114228749366	Jan 25 2023 01:43 PM	Gymnastics, karate, ninja gym
114228741216	Jan 25 2023 01:18 PM	Wildflower display□door markets□Wind up Sports Dinners
114227587276	Jan 24 2023 06:48 AM	Ceremonies, Weddings, Life celebrations, Forums
114226955318	Jan 23 2023 03:16 PM	Sundowners Parties Business and Agriculture events/forums
114226953771	Jan 23 2023 03:12 PM	Gymnastics, frisbee, karate, personal training, Pilates, yoga,
114226879987	Jan 23 2023 11:01 AM	Large weddings, League combined sports functions. Large travelling shows.
114226266799	Jan 21 2023 09:52 PM	Large functionsRegional DisplaysSchool concertsMarket days because of inclement weather Sport training because of inclement weatherFuneralsWeddingsRepertory □
114224098728	Jan 19 2023 09:49 AM	Workshops, seminars,
114224056502	Jan 19 2023 08:30 AM	School concert, carols, music concert, weddings, large group functions ie. Wind ups, dinners.
114224053869	Jan 19 2023 08:26 AM	Badminton. Gymnastics. In-door blue light discos.
114223957145	Jan 19 2023 05:52 AM	Gymnastics. Rhyme time baby group, school holiday activities for all ages, workshops, private hire,
114223896924	Jan 19 2023 04:43 AM	Private events□workshopsSchool presentation nights □et weather events
114223686563	Jan 19 2023 12:52 AM	Any type of gathering of size that the current rec centre is too small for - wind ups , larger conferences , special occasions
114223517551	Jan 18 2023 09:43 PM	School concertsSports wind upsGymnastics
114223498580	Jan 18 2023 09:19 PM	Badminton SquashKids discosSports windups School holiday activity Exhibition- arts, wildflowers Mothers groups
114223287875	Jan 18 2023 01:59 PM	Scitech visits. School concerts. Visiting speakers. Community dinners with use of kitchen at shire
114207046575	Dec 20 2022 09:54 AM	sdgsdgsdgsdgsd

Future of the Mingenew Town Hall

What historical elements of the Hall, if any, are important to you, and why?

Answer Choices	Responses	Count
None of the above	34.21%	26
Structural features / architecture	32.89%	25
Social significance / stories	46.05%	35
Specific events or personalities linked to the Hall	30.26%	23
Please identify any specific features		14
Answered		73
Skipped		9

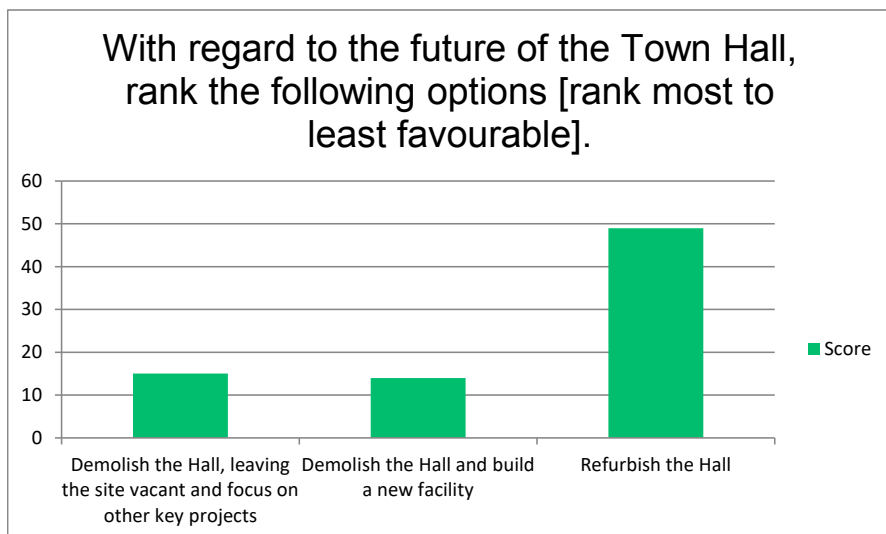


Respondent ID	Response Date	Please identify any specific features	Tags
114240006394	Feb 08 2023 09:15 PM	The hall is way past its use by date.	
114232258339	Jan 30 2023 07:05 PM	Size/stage for performance/ great parking beside the hall and over the road/ period architecture	
114232203543	Jan 30 2023 05:13 PM	Why look back? Historical elements are not important. This is a building for FUTURE activities	
114229697423	Jan 26 2023 04:51 PM	All of above	
114228845348	Jan 25 2023 05:48 PM	Repertory Club was great, the town people supported every event we put on, such great time had	
114228765115	Jan 25 2023 02:29 PM	Quizz nights, drama vclub, school concerts, blue light discos, sporting windups, entertainments, art exhibitions, badminton, gymnastics & fitness	
114228754369	Jan 25 2023 01:58 PM	Mural on the outside painted by my family	
114227587276	Jan 24 2023 06:48 AM	Mural	
114226955318	Jan 23 2023 03:16 PM	High ceilings and stage. Sprung floor. Terrible acoustics - please fix this	
114226879987	Jan 23 2023 11:01 AM	Mural	
114226266799	Jan 21 2023 09:52 PM	To have a space large enough for the functions I have mentioned. Currently families are constantly driving to Dongara to involve their children in gymnastics, martial arts, ballet to name but a few.	
114224053869	Jan 19 2023 08:26 AM	Many memories of my childhood are connected to the hall. Gymnastics, school concerts, dances, blue light discos, Christmas tree, school productions.	
114222246063	Jan 17 2023 08:13 AM	School concerts, movie events, social events	
114207046575	Dec 20 2022 09:54 AM	non	

Future of the Mingenew Town Hall

With regard to the future of the Town Hall, rank the following options [rank most to least favourable].

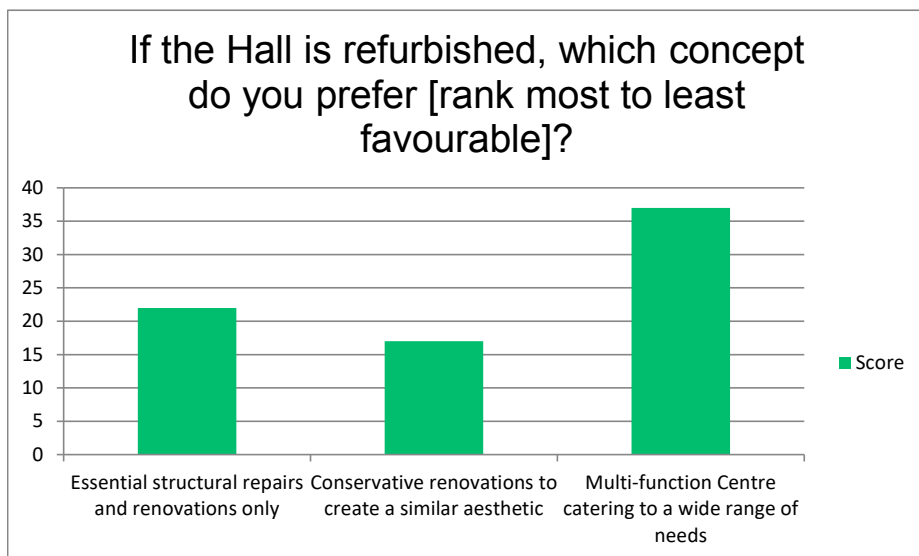
	1		2		3	Total	Score	
Demolish the Hall, leaving the site vacant and focus on other key pro	20.27%	15	9.46%	7	70.27%	52	74	1.5
Demolish the Hall and build a new facility	19.44%	14	68.06%	49	12.50%	9	72	2.07
Refurbish the Hall	63.64%	49	20.78%	16	15.58%	12	77	2.48
						Answered	79	
						Skipped	3	



Future of the Mingenew Town Hall

If the Hall is refurbished, which concept do you prefer [rank most to least favourable]?

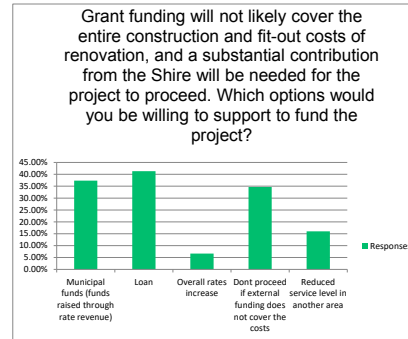
	1	2	3	Total	Score			
Essential structural repairs and renovations only	29.33%	22	42.67%	32	28.00%	21	75	2.01
Conservative renovations to create a similar aesthetic	22.67%	17	46.67%	35	30.67%	23	75	1.92
Multi-function Centre catering to a wide range of needs	48.05%	37	11.69%	9	40.26%	31	77	2.08
						Answered		77
						Skipped		5



Future of the Mingenew Town Hall

Grant funding will not likely cover the entire construction and fit-out costs of renovation, and a substantial contribution from the Shire will be needed for the project to proceed. Which options would you be willing to support to fund the project?

Answer Choices	Responses	
Municipal funds (funds raised through rate revenue)	37.33%	28
Loan	41.33%	31
Overall rates increase	6.67%	5
Dont proceed if external funding does not cover the costs	34.67%	26
Reduced service level in another area	16.00%	12
Other (please specify)		13
Answered		70
Skipped		12

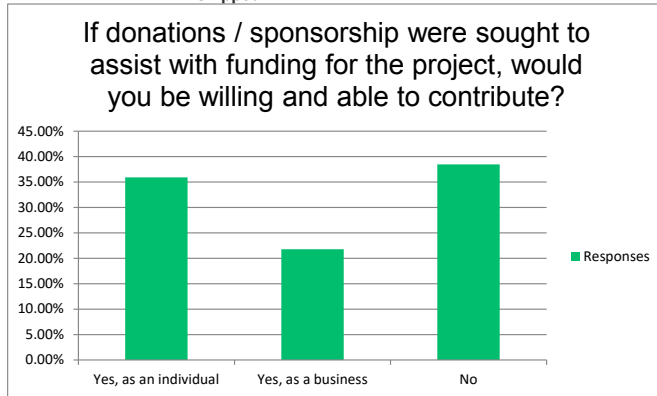


Respondent ID	Response Date	Other (please specify)	Tags
114239998488	Feb 08 2023 09:06 PM	The Shire submits Grant Applications. Community Crops. The proceeds from Mingenew Expo are invested into the building. Wheat donations.	
114239997454	Feb 06 2023 09:04 PM	The Shire submits Grant Applications. Community Crops. The proceeds from Mingenew Expo are invested into the building. Wheat donations.	
114234003034	Feb 01 2023 04:47 PM	A one or 2 year levy that increases the rates	
114232258339	Jan 30 2023 07:05 PM	External grants	
114232203543	Jan 30 2023 05:13 PM	Donations and community fund raising can play a part	
114229697423	Jan 26 2023 04:51 PM	Supporting Aboriginal corporation letter	
114228845348	Jan 25 2023 05:48 PM	That building has been there a long time so surely there are grants to restore this building. The timber inside this building will be irreplaceable if you pull this historical ikon	
114228766780	Jan 25 2023 02:34 PM	No idea	
114228765115	Jan 25 2023 02:29 PM	End of the day. This question should b the last . If the community really want & will support all events/ services forthcoming from these premises ... I worry about the cost...(def not wanting a rate increase!!) have a few vacant buildings in community already which very well May service specific needs .	
114228749366	Jan 25 2023 01:43 PM	
114226879967	Jan 23 2023 11:01 AM	Public donations	
114226267999	Jan 21 2023 09:52 PM	Would like to raise funds through external & community contributions before raising rates	
114223287875	Jan 18 2023 01:59 PM	Go fund me appeal. anonymous donors may contribute. Pass residents may donate to keep the hall going as well.	

Future of the Mingenew Town Hall

If donations / sponsorship were sought to assist with funding for the project, would you be willing and able to contribute?

Answer Choices	Responses	
Yes, as an individual	35.90%	28
Yes, as a business	21.79%	17
No	38.46%	30
Comment		8
Answered		75
Skipped		7

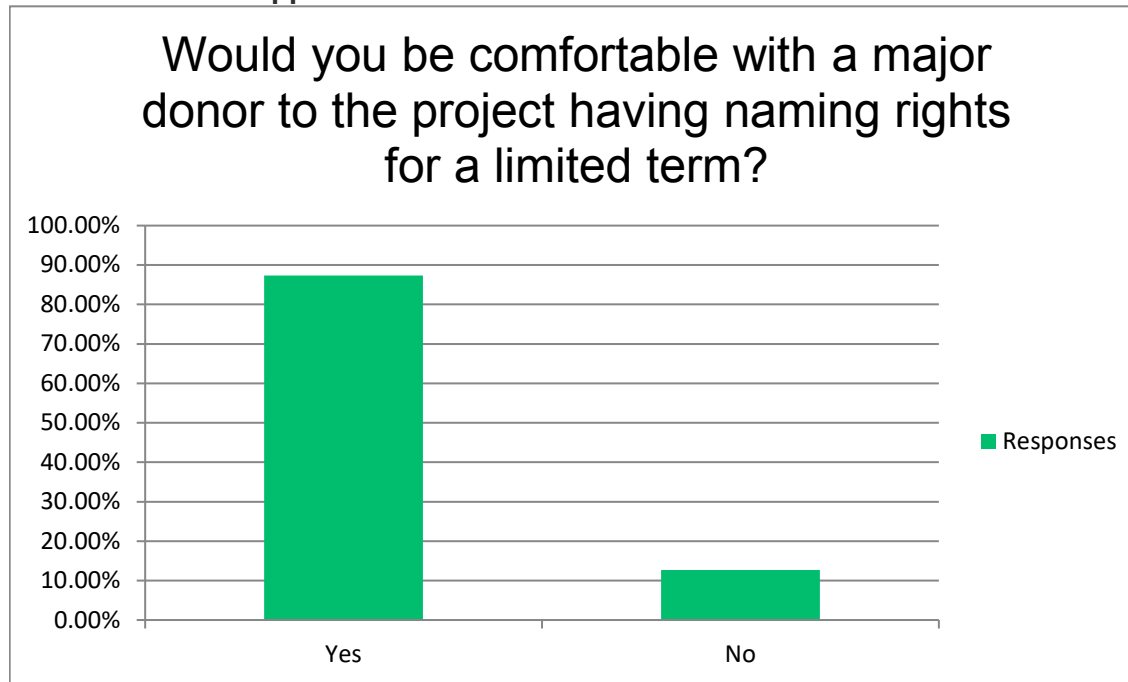


Respondent ID	Response Date	Comment	Tags
114232203543	Jan 30 2023 05:13 PM	What is the Shire's donation/sponsorship policy - needs to be publicised	
114229697423	Jan 26 2023 04:51 PM	Unable	
114228845348	Jan 25 2023 05:48 PM	A lot of families have passed away or moved on in this district, I would contribute but I am retired and getting on in age so my contribution would be small Im sorry	
114228765115	Jan 25 2023 02:29 PM	It should be addressed at a 'community meeting'.. the further I go j yo this survey .. I'm feeling saddened that this whole episode was not addressed at least 10 years ago .. when Mingas had a bigger / quite vibrant community .. my prob is that if this gets the green light at days end ... will it truly be utilised to reflect the expense of getting it to this point to	
114226266799	Jan 21 2023 09:52 PM	Willing to be involved for fund raising	
114224190410	Jan 19 2023 01:17 PM	Not me personally but I would encourage my employer to consider supporting a project	
114224056502	Jan 19 2023 08:30 AM	I would be possibly interested as a business but cannot answer for the rest of my company	
114223484145	Jan 18 2023 08:58 PM	Not sure	

Future of the Mingenew Town Hall

Would you be comfortable with a major donor to the project having naming rights for a limited term?

Answer Choices	Responses	
Yes	87.34%	69
No	12.66%	10
	Answered	79
	Skipped	3



Future of the Mingenew Town Hall		
Answered	33	
Skipped	49	
Do you have any further comments you would like to share with us in regard to the future of the Town Hall?		
Responses		
	We did this 15 years ago and it is still standing	
	I feel that for the younger people of Mingenew, a gym would be a good way to bring the community closer and support the sporting clubs greatly.	
	Don't know. We can't judge what we do. If I won lotto I would donate a decent amount of money for all that is in need. I try but no luck yet. If the town all was gone how many people would visit us or any other place. What Mingenew had in early years is gone, the people have changed is the biggest thing its all computer now and its not good. I could go on but I'll shut up because it upsets me how things have changed. Good luck to what happens.	
	Could be used to house the ghost when we become a ghost town of which we are rapidly approaching	
	Mingenew doesn't need the hall and a rec centre as well , needs to prioritise on one event space	
	Just demolish it and extend the Recreational Centre to cater for future needs. Spending money on a building that is way beyond its use by date is just a waste of money.	
	The hall has been dormant for 10 years. It's time that it was resurrected so the Community can use it once again.	
	The hall has been dormant for 10 years. It's time that it was resurrected so the Community can use it once again.	
	Town is too small to have a hall and a recreation centre	
	I would like to see a more collaborative approach to the use of buildings in our town and for us to capitalise on the resources we currently have. I believe that the Rec Centre is in desperate need of a refurbishment and I think it would be worthwhile researching if the premises can incorporate the functions of a Town Hall. <input type="checkbox"/>	
	I would not support Shire contributions being allocated to a rebuild/refurbishment of the Town Hall independently but I would be very supportive of funds being allocated to the Rec Centre as a Sports / Entertainment / Cultural precinct. <input type="checkbox"/>	
	The Rec Centre location, in my opinion, is the most valuable asset we have in our town in terms of its location and the way that the outlook showcases our town and shire. It has so much potential to become an amazing resource for locals, visitors and tourists.	
	It would be very nice to have the hall open again as it has so much potential for use.	
	Previous surveys on use for hall should be factored in to assist decision making; call a community meeting to discuss as per when the shop had shut- this sort of open forum often brings out good passionate suggestions. Once the building is demolished it will never be replaced due to increasing baseline costs and the present public buildings in MI all have their limitations to some extent. Many activities could be staged in the hall and with the lateral thinking CRC doing a great job, this increased profile would be an attractive draw card for people thinking of coming to live in the town. It is in a great location where it is and it's renovation and use could be just what our flailing community needs.	
	Do not link other buildings with this survey. It should stand alone. eg. The lesser hall kitchen is not part of the Hall. External catering is used today and they are self contained. eg. The REc Centre does not have the attributes that the Hall <input type="checkbox"/> has and can not be used for the same activities. The Day Care Centre grants come from a different pool of Grant money I think. Has there been a survey showing support for the upgrade? If so what were the results? <input type="checkbox"/>	
	Cost is a big factor for this project. It would be great to have this space back for the community and sporting groups to use but I also wondering if the money was put into the rec centre whether that would be money better spent. And also easier for the shire to manage	
	A major part of Mingenews community history and an huge icon for Mingenew	
	Don't give up on it! About time you're doing something.	
	No	
	The town hall is the heart of a community. A town hall is not 'decorated' in sports memorabilia or specific to a particular group. Having a venue for indoor after school activities will allow all children the opportunity to access extra curricular activities not just those fortunate enough to travel long distances to other towns. In turn this may also encourage more money to be spent in town.	
	Please maintain heritage of this town for as long as you can. I come back here a lot of time throughout the year and have so many great memories. Quite a few of the farm's items are displayed in the historical shed, along with family photos.	
	Think I have mentioned a few up to this point. it is very sad that these old premises fall away due to neglect ... & then 'bang' 10-15 years later .. all of a sudden it's all quite doable .. (after several other survey attempts) .. but one must look at the population & gauge the bigger picture .. Tis very easy to say that 'yes' will support .. by touching a few keys... I truly think that to get a very good representation of support, one needs to call a community meeting & facilitate from there.. <input type="checkbox"/>	
	wishing the mingenew community good luck	
	There needs to be a review of all the towns spaces to ascertain what is really required for todays rate payers. You cannot look too far into the future as that is too uncertain	
	If the ceiling is replaced, endeavour to use materials to improve acoustics. Robust renovation to handle indoor activities like Basketball, Netball, Scitec and Bluelight Disco.	
	It is part of our history and represents the hard work of our forebears and should be retained as the railway station and old bank building have been.	
	Yes! Once a building like this is gone there is little chance of it ever being replaced and we feel like the Shire had been procrastinating long enough. For example how much has it cost so far for surveys , concept designs, expenditure reports, staff and consultant's time? Let's get on with it and make it something we can be proud of now, and into the future.	
	There are major funds from the Yandy B&S sitting unused, please consider using these funds for the town hall or the daycare project	
	The shire needs to make sure that they upkeep and maintain their public buildings to a standard that will ensure use for future generations.	
	MINGENEW does not need another building. With the Sports Club, Tennis Club, Rec Centre sitting empty most of the year. We need a decent building for a supermarket, cafe, roadhouse business in the Main Street. The hotel is an eye saw and the rec centre/turf club precinct is under developed and presents a wasted opportunity for a facility that could cater for all sports clubs (tennis, golf, bowls, cricket, hockey & netball) as well as the races, expo, social functions and meetings and childcare could also be incorporated into this facility as well. Child care is important but this wave of generational change will pass and soon all the families using the facilities will have school age children and there will be no need for a large centre. Once we can no longer field a footy team (next 2-5 years) then the rec centre needs to have another purpose. The hall would be better turned into a nice neat carpark beside the shire office.	

		The town hall would give us a larger space to use for many things as currently we are unable to seat more than 100 people in any soace in Mingenew. However I would love the shire to start the process of making the rec centre our hub in town. I think all sports should be moved up there are the rec centre to be rebuilt as a one stop shop. One area with everything in it would be amazing for our town and bring community groups together as one.	
		I think the community will benefit greatly from having a functional Town Hall again. It is a valuable building for community engagement.	
		Over the years there have been a number of events I know of that had to be either limited or not held due to capacity numbers of current facilities . I have attended events at other town halls with the larger capacity and it is a shame that Mingenew does not have a town hall to call their own. I feel it will get the use it deserves if the renovations go ahead	
		It would be great to have something that is inclusive of all ages & abilities. Majority of the surrounding towns are fortunate to have swimming pools and gyms.	
		Renovations to the hall is a must. Not building a new building. A piece of history worth hanging onto. Rec Centre has limited functionality. Height of ceiling etc. question 7 only allowed me to answer one option.	
		nil	

Future of the Town Hall - Discussion Paper

History

The Mingenew Town Hall was built in 1959. It is one of the most contemporary buildings in Mingenew. Since 1959, it has been used by the community for a range of uses and functions including: regular dances, balls, cabarets, private and public dinners, wedding receptions, regional meetings for a range of community organisations, reparatory shows, sports celebrations, school concerts, weekly picture shows, traveling shows, Shire functions, fund raising events including quiz nights, art and craft displays an fashion parades, and Brownies, Girl Guides, Cubs and Scouts, and Junior Farmers, badminton, volleyball, dance and gymnastic classes and much more.

The Shire Hall is a fine building of its time in up-to-date Post World War Two contemporary architectural style. It informs the historic townscape of the modern period of design in Mingenew, together with the police station and courthouse.

The Hall is an integral element of the local government's presence in the town, representing the original Mingenew Agricultural Hall (1895 site, 1917), the former Roads Board building (1906), the Art Deco addition to the Agricultural Hall (1935), and the Shire Hall (1959), demonstrating the development and commitment over time, to the Mingenew community and district.

The Shire's Local Heritage Survey (LHS) categorizes the Hall as a Category 2 site being of 'considerable significance' with conservation considered 'highly desirable' upon recommendation from the Mingenew Historical Society.

Background and Timeline

A timeline has been prepared, outlining actions taken by the Shire since 2016 in determining an outcome for the future of the Town Hall .

January 2016

An Asbestos Inspection Report was prepared in January 2016 by LGIS, indicating the suspected presence of asbestos in the hall, in the following areas:

- Electrical Board at front box office
- Kitchen splash back
- Kitchen wall panel adjacent to sink
- Kitchen coving
- Kitchen sink lining
- Moldered wall paneling beneath projector room
- Projector room
- Electrical board in projector room
- Ceiling plaster and walls at rear of hall stage area
- Electrical Board behind stage
- Southern wall exterior
- West wall exterior
- Roof

October 2016

The Shire called for Tenders in 2016/17 (RFT 2) for demolition of the Hall which included the removal of asbestos and demolition of the building. Any surplus funds were intended to be used to expand the Recreation Centre.

No tenders were accepted.

January 2017

The Shire called for Tenders in 2016/17 (RFT 6) for refurbishment of the Hall and the scope at the time included:

- Sanding and painting of metal struts, doors, windows and frames
- Removal of asbestos (did not account for delivery to Meru) and replace with appropriate material – includes all external paneling and the interior ceiling in dressing room and projector room
- Replace wooden stairs and deck on exterior (western side) of building and stairway leading to projection mezzanine
- Repairs to structural crack on northern brick wall
- Removal and replacement of ceiling and cornices
- Interior painting
- Sanding and varnishing of wood paneling and floorboards
- Removal and replacement of damaged interior walls
- Renovate kitchen
- Lighting, electrical and plumbing needs separate
- Remove and replace roof

Council received 3 tender submissions at the time. At the February 2017 Council meeting it was decided that further information would be sought from tenderers to assist in making a determination, due to the broad nature of the scope.

February 2017

The Hall roof was replaced in 2017 due to storm damage (insurance claim) which occurred in January 2017.

March 2017

Council established a Town Hall Refurbishment Committee at the 15 March 2017 Ordinary Council meeting.

January 2018

A grant application was prepared for submission to Lotterywest for the Town Hall refurbishment based on a project cost of \$370,200, with \$185,950 the requested grant contribution. The application was unsuccessful.

May 2018

ADC Projects submitted a report on the Town Hall, Mingenew Recreation Centre and associated facilities. The intent of the inspection was to establish the relative cost of refurbishment of the Hall and upgrading the Recreation Centre, involving extensions to the current facility. Included in the scope of work was advice on the tender process as a precursor to the Shire calling for expressions of interest for these works.

Probable costs indicated at the time for refurbishment were \$860,000.

November 2018

Structerre Consulting engineers inspected the Hall on 13 November 2018. The purpose of the site visit was to inspect and comment upon the cracking to the masonry wall of the Town Hall building and provide recommendations on repairing the cracked masonry walls. Comments and recommendations are also made on the steel column to the front of the building that was also observed to be degraded.

Recommendations from the report included:

- Demolish and re construct the northern corner wall, like for like from the last support column. Provide a new 300mm wide footing down and onto the bedrock below. Drill and epoxy grout 4 equally spaced 800mm long N12 reinforcing bars, 400mm into the existing footing.
- Crack stitch the southern wall in accordance with the manufacture's specifications.
- Install new guttering and down pipes to discharge the water away from the building's foundations.
- Reinstate, or install new brick paving min 1.5m from the walls around the perimeter of the building. Ensure no water is allowed to pond within the brick paving.
- As a new base connection will need to be installed, the existing structure will require temporary propping. This temporary propping is the responsibility of the nominated builder.
- The existing column to the front of the building should be cut off a minimum of 500mm above ground level. The footing along with the degraded embedded column will need to be removed and replaced like for like. It is critical that the embedment of the original column be matched in the new footing.
- The new steel column should be fully welded to the existing column above ground level and all of the steelworks should be epoxy painted a min of 200mm above the weld point.
- At this time the adjacent dead vegetation should be removed to prevent damage to the building's foundation.

February 2022

LGIS conducted another inspection of the Hall to document the presence and condition of asbestos. It generally confirms the data received from the 2016 report.

May 2022

In March 2022, the Shire engaged a Building Surveyor to undertake an inspection of the Town Hall and to report on the building condition. The main outcomes of the inspection were:

- Asbestos material throughout (some friable) – external walls
- Structural defect – northern rear wall (length and width of cracking)
- Safety risk and non-compliance – exit doors
- Movement in flooring and insufficient ventilation to prevent moisture damage
- Displaced ceiling material – internal ceiling
- Stage area – not fire/building compliant
- External stairs to projection mezzanine non-compliant with Building Code
- Switchboard
- Site location – on boundary of property (north-side) – windows and doors would require modifications
- Storm water diversion required
- Emergency lighting required

Financial Considerations

In 2022/23, Council allocated around \$11m to capital projects, of which, over \$8m is covered by non-operating grants, and should be considered in the context of the impacts of such a large capital project on Council's Budget and financial capacity to fund other capital projects.

CAPITAL	BUDGET 2022/23
Expenditure	
Buildings	\$2,350,157
Furniture & Equipment	\$10,000
Plant & Equipment	\$455,000
Infrastructure - Roads	\$5,879,941
Infrastructure – Other	\$326,000
Infrastructure Parks & Gardens	\$60,000
Infrastructure Other	\$114,000
TOTAL EXPENDITURE	\$9,195,098
Income	
Funded by Municipal funds	\$355,472
FAGS	\$720,000
Other	\$26,862
Grant Funding	\$8,092,764
TOTAL INCOME	\$9,195,098

Past Survey Data

The last survey issued in 2021, asked residents

1. Would you like to see the Town Hall refurbished? YES/NO
2. If yes, what activities would you like to see held at the Town Hall? Options listed
3. General Comments

74 responses were received. A summary of the responses is provided below, and comments made for and against the suggestions:

*Comments provided do not consider all points and variables.

Proposed future uses	Comments
Weddings / parties / functions	<ul style="list-style-type: none"> • Larger capacity than other venues • Alternative locations are currently available • Commercial kitchen would be required – lesser hall kitchen non-compliant.
Quizzes	<ul style="list-style-type: none"> • Larger capacity than other venues • Alternative locations are currently available
Gym / fitness	<ul style="list-style-type: none"> • Gym not provided elsewhere currently • Possible revenue stream • Could be used by individuals and groups • Alternative locations are currently available
Indoor sport and rec activities – dance classes, karate, gymnastics	<ul style="list-style-type: none"> • Sprung floorboards considered ideal • Minimal income stream (expectation that fees are discounted in recognition of social benefit) • Floor sub-surface condition requires investigating • Roof height suitable
School concerts	<ul style="list-style-type: none"> • High ceiling and larger capacity. • Alternative locations are currently available • Indoor option for inclement weather
Craft displays and Art Exhibitions	<ul style="list-style-type: none"> • Large open space • Alternative locations are currently available • Would be reliant on appropriate fitout e.g. lighting, wall space/partitions
Movie Nights	<ul style="list-style-type: none"> • Technology required to facilitate • Indoor option for inclement weather
Markets	<ul style="list-style-type: none"> • Possible revenue stream • Alternative locations are currently available • Indoor option for inclement weather
Performing Arts	<ul style="list-style-type: none"> • Sound quality • Roof height suitable



Option 2 - Basic Restoration Low Value - \$1.56M

Enter values

Loan amount	\$1,560,000.00
Annual interest rate	4.60%
Loan period in years	10
Number of payments per year	2
Start date of loan	1/07/2025

Optional extra payments

\$0.00

Loan summary

Scheduled payment	\$98,188.76
Scheduled number of payments	20
Actual number of payments	20
Total early payments	\$0.00
Total interest	\$403,775.14

Lender name

WATC

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
1	1/07/2025	\$1,560,000.00	\$98,188.76	\$0.00	\$98,188.76	\$62,308.76	\$35,880.00	\$1,497,691.24	\$35,880.00
2	1/01/2026	\$1,497,691.24	\$98,188.76	\$0.00	\$98,188.76	\$63,741.86	\$34,446.90	\$1,433,949.38	\$70,326.90
3	1/07/2026	\$1,433,949.38	\$98,188.76	\$0.00	\$98,188.76	\$65,207.92	\$32,980.84	\$1,368,741.46	\$103,307.73
4	1/01/2027	\$1,368,741.46	\$98,188.76	\$0.00	\$98,188.76	\$66,707.70	\$31,481.05	\$1,302,033.76	\$134,788.79
5	1/07/2027	\$1,302,033.76	\$98,188.76	\$0.00	\$98,188.76	\$68,241.98	\$29,946.78	\$1,233,791.78	\$164,735.56
6	1/01/2028	\$1,233,791.78	\$98,188.76	\$0.00	\$98,188.76	\$69,811.55	\$28,377.21	\$1,163,980.23	\$193,112.78
7	1/07/2028	\$1,163,980.23	\$98,188.76	\$0.00	\$98,188.76	\$71,417.21	\$26,771.55	\$1,092,563.02	\$219,884.32
8	1/01/2029	\$1,092,563.02	\$98,188.76	\$0.00	\$98,188.76	\$73,059.81	\$25,128.95	\$1,019,503.21	\$245,013.27
9	1/07/2029	\$1,019,503.21	\$98,188.76	\$0.00	\$98,188.76	\$74,740.18	\$23,448.57	\$944,763.03	\$268,461.84
10	1/01/2030	\$944,763.03	\$98,188.76	\$0.00	\$98,188.76	\$76,459.21	\$21,729.55	\$868,303.82	\$290,191.39
11	1/07/2030	\$868,303.82	\$98,188.76	\$0.00	\$98,188.76	\$78,217.77	\$19,970.99	\$790,086.05	\$310,162.38
12	1/01/2031	\$790,086.05	\$98,188.76	\$0.00	\$98,188.76	\$80,016.78	\$18,171.98	\$710,069.28	\$328,334.36
13	1/07/2031	\$710,069.28	\$98,188.76	\$0.00	\$98,188.76	\$81,857.16	\$16,331.59	\$628,212.11	\$344,665.95
14	1/01/2032	\$628,212.11	\$98,188.76	\$0.00	\$98,188.76	\$83,739.88	\$14,448.88	\$544,472.23	\$359,114.83

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
15	1/07/2032	\$544,472.23	\$98,188.76	\$0.00	\$98,188.76	\$85,665.90	\$12,522.86	\$458,806.34	\$371,637.69
16	1/01/2033	\$458,806.34	\$98,188.76	\$0.00	\$98,188.76	\$87,636.21	\$10,552.55	\$371,170.13	\$382,190.24
17	1/07/2033	\$371,170.13	\$98,188.76	\$0.00	\$98,188.76	\$89,651.84	\$8,536.91	\$281,518.28	\$390,727.15
18	1/01/2034	\$281,518.28	\$98,188.76	\$0.00	\$98,188.76	\$91,713.84	\$6,474.92	\$189,804.44	\$397,202.07
19	1/07/2034	\$189,804.44	\$98,188.76	\$0.00	\$98,188.76	\$93,823.25	\$4,365.50	\$95,981.19	\$401,567.58
20	1/01/2035	\$95,981.19	\$98,188.76	\$0.00	\$95,981.19	\$93,773.62	\$2,207.57	\$0.00	\$403,775.14



Option 2 - Basic Restoration High Value - \$2.15M

Enter values

Loan amount	\$2,150,000.00
Annual interest rate	4.60%
Loan period in years	10
Number of payments per year	2
Start date of loan	1/07/2025

Optional extra payments

\$0.00

Loan summary

Scheduled payment	\$135,324.25
Scheduled number of payments	20
Actual number of payments	20
Total early payments	\$0.00
Total interest	\$556,484.97

Lender name

WATC

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
1	1/07/2025	\$2,150,000.00	\$135,324.25	\$0.00	\$135,324.25	\$85,874.25	\$49,450.00	\$2,064,125.75	\$49,450.00
2	1/01/2026	\$2,064,125.75	\$135,324.25	\$0.00	\$135,324.25	\$87,849.36	\$47,474.89	\$1,976,276.40	\$96,924.89
3	1/07/2026	\$1,976,276.40	\$135,324.25	\$0.00	\$135,324.25	\$89,869.89	\$45,454.36	\$1,886,406.50	\$142,379.25
4	1/01/2027	\$1,886,406.50	\$135,324.25	\$0.00	\$135,324.25	\$91,936.90	\$43,387.35	\$1,794,469.60	\$185,766.60
5	1/07/2027	\$1,794,469.60	\$135,324.25	\$0.00	\$135,324.25	\$94,051.45	\$41,272.80	\$1,700,418.16	\$227,039.40
6	1/01/2028	\$1,700,418.16	\$135,324.25	\$0.00	\$135,324.25	\$96,214.63	\$39,109.62	\$1,604,203.53	\$266,149.02
7	1/07/2028	\$1,604,203.53	\$135,324.25	\$0.00	\$135,324.25	\$98,427.57	\$36,896.68	\$1,505,775.96	\$303,045.70
8	1/01/2029	\$1,505,775.96	\$135,324.25	\$0.00	\$135,324.25	\$100,691.40	\$34,632.85	\$1,405,084.56	\$337,678.55
9	1/07/2029	\$1,405,084.56	\$135,324.25	\$0.00	\$135,324.25	\$103,007.30	\$32,316.94	\$1,302,077.25	\$369,995.49
10	1/01/2030	\$1,302,077.25	\$135,324.25	\$0.00	\$135,324.25	\$105,376.47	\$29,947.78	\$1,196,700.78	\$399,943.27
11	1/07/2030	\$1,196,700.78	\$135,324.25	\$0.00	\$135,324.25	\$107,800.13	\$27,524.12	\$1,088,900.65	\$427,467.39
12	1/01/2031	\$1,088,900.65	\$135,324.25	\$0.00	\$135,324.25	\$110,279.53	\$25,044.71	\$978,621.12	\$452,512.10
13	1/07/2031	\$978,621.12	\$135,324.25	\$0.00	\$135,324.25	\$112,815.96	\$22,508.29	\$865,805.15	\$475,020.39
14	1/01/2032	\$865,805.15	\$135,324.25	\$0.00	\$135,324.25	\$115,410.73	\$19,913.52	\$750,394.42	\$494,933.90

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
15	1/07/2032	\$750,394.42	\$135,324.25	\$0.00	\$135,324.25	\$118,065.18	\$17,259.07	\$632,329.25	\$512,192.98
16	1/01/2033	\$632,329.25	\$135,324.25	\$0.00	\$135,324.25	\$120,780.68	\$14,543.57	\$511,548.57	\$526,736.55
17	1/07/2033	\$511,548.57	\$135,324.25	\$0.00	\$135,324.25	\$123,558.63	\$11,765.62	\$387,989.94	\$538,502.17
18	1/01/2034	\$387,989.94	\$135,324.25	\$0.00	\$135,324.25	\$126,400.48	\$8,923.77	\$261,589.46	\$547,425.93
19	1/07/2034	\$261,589.46	\$135,324.25	\$0.00	\$135,324.25	\$129,307.69	\$6,016.56	\$132,281.77	\$553,442.49
20	1/01/2035	\$132,281.77	\$135,324.25	\$0.00	\$132,281.77	\$129,239.29	\$3,042.48	\$0.00	\$556,484.97



Option 3 - Full Restoration Low Value - \$3M

Enter values

Loan amount	\$3,000,000.00
Annual interest rate	4.60%
Loan period in years	10
Number of payments per year	2
Start date of loan	1/07/2025

Optional extra payments

\$0.00

Loan summary

Scheduled payment	\$188,824.53
Scheduled number of payments	20
Actual number of payments	20
Total early payments	\$0.00
Total interest	\$776,490.66

Lender name

WATC

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
1	1/07/2025	\$3,000,000.00	\$188,824.53	\$0.00	\$188,824.53	\$119,824.53	\$69,000.00	\$2,880,175.47	\$69,000.00
2	1/01/2026	\$2,880,175.47	\$188,824.53	\$0.00	\$188,824.53	\$122,580.50	\$66,244.04	\$2,757,594.97	\$135,244.04
3	1/07/2026	\$2,757,594.97	\$188,824.53	\$0.00	\$188,824.53	\$125,399.85	\$63,424.68	\$2,632,195.12	\$198,668.72
4	1/01/2027	\$2,632,195.12	\$188,824.53	\$0.00	\$188,824.53	\$128,284.05	\$60,540.49	\$2,503,911.08	\$259,209.21
5	1/07/2027	\$2,503,911.08	\$188,824.53	\$0.00	\$188,824.53	\$131,234.58	\$57,589.95	\$2,372,676.50	\$316,799.16
6	1/01/2028	\$2,372,676.50	\$188,824.53	\$0.00	\$188,824.53	\$134,252.97	\$54,571.56	\$2,238,423.52	\$371,370.72
7	1/07/2028	\$2,238,423.52	\$188,824.53	\$0.00	\$188,824.53	\$137,340.79	\$51,483.74	\$2,101,082.73	\$422,854.46
8	1/01/2029	\$2,101,082.73	\$188,824.53	\$0.00	\$188,824.53	\$140,499.63	\$48,324.90	\$1,960,583.10	\$471,179.37
9	1/07/2029	\$1,960,583.10	\$188,824.53	\$0.00	\$188,824.53	\$143,731.12	\$45,093.41	\$1,816,851.98	\$516,272.78
10	1/01/2030	\$1,816,851.98	\$188,824.53	\$0.00	\$188,824.53	\$147,036.94	\$41,787.60	\$1,669,815.04	\$558,060.37
11	1/07/2030	\$1,669,815.04	\$188,824.53	\$0.00	\$188,824.53	\$150,418.79	\$38,405.75	\$1,519,396.26	\$596,466.12
12	1/01/2031	\$1,519,396.26	\$188,824.53	\$0.00	\$188,824.53	\$153,878.42	\$34,946.11	\$1,365,517.84	\$631,412.23
13	1/07/2031	\$1,365,517.84	\$188,824.53	\$0.00	\$188,824.53	\$157,417.62	\$31,406.91	\$1,208,100.21	\$662,819.14
14	1/01/2032	\$1,208,100.21	\$188,824.53	\$0.00	\$188,824.53	\$161,038.23	\$27,786.30	\$1,047,061.99	\$690,605.45

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
15	1/07/2032	\$1,047,061.99	\$188,824.53	\$0.00	\$188,824.53	\$164,742.11	\$24,082.43	\$882,319.88	\$714,687.87
16	1/01/2033	\$882,319.88	\$188,824.53	\$0.00	\$188,824.53	\$168,531.18	\$20,293.36	\$713,788.70	\$734,981.23
17	1/07/2033	\$713,788.70	\$188,824.53	\$0.00	\$188,824.53	\$172,407.39	\$16,417.14	\$541,381.31	\$751,398.37
18	1/01/2034	\$541,381.31	\$188,824.53	\$0.00	\$188,824.53	\$176,372.76	\$12,451.77	\$365,008.55	\$763,850.14
19	1/07/2034	\$365,008.55	\$188,824.53	\$0.00	\$188,824.53	\$180,429.34	\$8,395.20	\$184,579.21	\$772,245.34
20	1/01/2035	\$184,579.21	\$188,824.53	\$0.00	\$184,579.21	\$180,333.89	\$4,245.32	\$0.00	\$776,490.66



Option 3 - Full Restoration High Value - \$4M

Enter values

Loan amount	\$4,000,000.00
Annual interest rate	4.60%
Loan period in years	10
Number of payments per year	2
Start date of loan	1/07/2025

Optional extra payments

\$0.00

Loan summary

Scheduled payment	\$251,766.04
Scheduled number of payments	20
Actual number of payments	20
Total early payments	\$0.00
Total interest	\$1,035,320.88

Lender name

WATC

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
1	1/07/2025	\$4,000,000.00	\$251,766.04	\$0.00	\$251,766.04	\$159,766.04	\$92,000.00	\$3,840,233.96	\$92,000.00
2	1/01/2026	\$3,840,233.96	\$251,766.04	\$0.00	\$251,766.04	\$163,440.66	\$88,325.38	\$3,676,793.29	\$180,325.38
3	1/07/2026	\$3,676,793.29	\$251,766.04	\$0.00	\$251,766.04	\$167,199.80	\$84,566.25	\$3,509,593.49	\$264,891.63
4	1/01/2027	\$3,509,593.49	\$251,766.04	\$0.00	\$251,766.04	\$171,045.39	\$80,720.65	\$3,338,548.10	\$345,612.28
5	1/07/2027	\$3,338,548.10	\$251,766.04	\$0.00	\$251,766.04	\$174,979.44	\$76,786.61	\$3,163,568.66	\$422,398.88
6	1/01/2028	\$3,163,568.66	\$251,766.04	\$0.00	\$251,766.04	\$179,003.96	\$72,762.08	\$2,984,564.70	\$495,160.96
7	1/07/2028	\$2,984,564.70	\$251,766.04	\$0.00	\$251,766.04	\$183,121.06	\$68,644.99	\$2,801,443.64	\$563,805.95
8	1/01/2029	\$2,801,443.64	\$251,766.04	\$0.00	\$251,766.04	\$187,332.84	\$64,433.20	\$2,614,110.80	\$628,239.15
9	1/07/2029	\$2,614,110.80	\$251,766.04	\$0.00	\$251,766.04	\$191,641.50	\$60,124.55	\$2,422,469.31	\$688,363.70
10	1/01/2030	\$2,422,469.31	\$251,766.04	\$0.00	\$251,766.04	\$196,049.25	\$55,716.79	\$2,226,420.06	\$744,080.50
11	1/07/2030	\$2,226,420.06	\$251,766.04	\$0.00	\$251,766.04	\$200,558.38	\$51,207.66	\$2,025,861.67	\$795,288.16
12	1/01/2031	\$2,025,861.67	\$251,766.04	\$0.00	\$251,766.04	\$205,171.23	\$46,594.82	\$1,820,690.45	\$841,882.98
13	1/07/2031	\$1,820,690.45	\$251,766.04	\$0.00	\$251,766.04	\$209,890.16	\$41,875.88	\$1,610,800.29	\$883,758.86
14	1/01/2032	\$1,610,800.29	\$251,766.04	\$0.00	\$251,766.04	\$214,717.64	\$37,048.41	\$1,396,082.65	\$920,807.26

Payment number	Payment date	Beginning balance	Scheduled payment	Extra payment	Total payment	Principal	Interest	Ending balance	Cumulative interest
15	1/07/2032	\$1,396,082.65	\$251,766.04	\$0.00	\$251,766.04	\$219,656.14	\$32,109.90	\$1,176,426.51	\$952,917.16
16	1/01/2033	\$1,176,426.51	\$251,766.04	\$0.00	\$251,766.04	\$224,708.23	\$27,057.81	\$951,718.27	\$979,974.97
17	1/07/2033	\$951,718.27	\$251,766.04	\$0.00	\$251,766.04	\$229,876.52	\$21,889.52	\$721,841.75	\$1,001,864.49
18	1/01/2034	\$721,841.75	\$251,766.04	\$0.00	\$251,766.04	\$235,163.68	\$16,602.36	\$486,678.06	\$1,018,466.85
19	1/07/2034	\$486,678.06	\$251,766.04	\$0.00	\$251,766.04	\$240,572.45	\$11,193.60	\$246,105.61	\$1,029,660.45
20	1/01/2035	\$246,105.61	\$251,766.04	\$0.00	\$246,105.61	\$240,445.19	\$5,660.43	\$0.00	\$1,035,320.88

Town Hall Depreciation Schedule

Year	Asset Class	Item	Cost (\$)	Depreciation Rate (%)	Annual Depreciation (\$)	Accumulated Depreciation (\$)
1	Building Structure	External Walls	\$ 64,000.00	1%	\$ 640.00	\$ 640.00
1	Building Structure	Roofing & Structure	\$ 34,000.00	1%	\$ 340.00	\$ 340.00
1	Building Structure	Columns & Steel Work	\$ 400,000.00	1%	\$ 4,000.00	\$ 4,000.00
1	Building Structure	Flooring (Timber & Concrete)	\$ 200,000.00	1%	\$ 2,000.00	\$ 2,000.00
1	Building Structure	Partitions & Linings	\$ 500,000.00	1%	\$ 5,000.00	\$ 5,000.00
1	Mechanical and Electrical Systems	HVAC & Mechanical Services	\$ 300,000.00	5%	\$ 15,000.00	\$ 15,000.00
1	Mechanical and Electrical Systems	Electrical & Communication Systems	\$ 152,000.00	5%	\$ 7,600.00	\$ 7,600.00
1	Mechanical and Electrical Systems	Plumbing & Hydraulic Services	\$ 150,000.00	5%	\$ 7,500.00	\$ 7,500.00
1	Mechanical and Electrical Systems	Stormwater & Septic Systems	\$ 82,000.00	5%	\$ 4,100.00	\$ 4,100.00
1	Interior Finishes	Flooring (Carpets, Tiles, etc.)	\$ 300,000.00	2%	\$ 6,000.00	\$ 6,000.00
1	Interior Finishes	Ceiling & Wall Finishes	\$ 280,000.00	4%	\$ 11,200.00	\$ 11,200.00
1	Interior Finishes	Internal Doors & Windows	\$ 100,000.00	4%	\$ 4,000.00	\$ 4,000.00
1	Interior Finishes	Joinery & Furniture	\$ 200,000.00	4%	\$ 8,000.00	\$ 8,000.00
1	Special Equipment	Kitchen & Bar Equipment	\$ 205,000.00	10%	\$ 20,500.00	\$ 20,500.00
1	Special Equipment	Audiovisual & Stage Equipment	\$ 367,000.00	10%	\$ 36,700.00	\$ 36,700.00
1	Special Equipment	Furniture & Fixtures	\$ 85,000.00	5%	\$ 4,250.00	\$ 4,250.00
					\$ 136,830.00	\$ 136,830.00

Town Hall Whole of Life Cost (WLC) Calculation

	With Depreciation	Depreciation Removed
Initial Construction Cost	\$ 4,073,000.00	\$ 4,073,000.00
Total Operation and Maintenance Cost	\$ 4,073,000.00	\$ 4,073,000.00
Total Depreciation Cost	\$13,830,000.00	\$ -
Total Energy Cost	\$ 500,000.00	\$ 500,000.00
Total Renovation Cost	\$ 2,000,000.00	\$ 2,000,000.00
Total WLC	\$24,476,000.00	\$10,646,000.00
	\$ 100.00	\$ 100.00
Annual cost	\$ 204,030.00	\$ 65,730.00

RE: Proposed Outbuilding – 25 (Lot 14) corner Bride & Irwin Streets, Mingenew

- purpose for the outbuilding - 2 bay lockable garage for vehicles and storage and 2 bays for carport and/or outdoor covered area
- the reason for the 1.5m rather than 2m street setback - this is to avoid the septic leach drain which runs behind the current garage while still having good depth in the garage and carport bays
- proposed colour of the wall and roof cladding - Colourbond surfmist for both walls and roof cladding
- proposed means of stormwater management - gutters, downpipes and rain water tanks will be installed to capture storm water from the roof

This garage/carport is identical in design to the one at 46 Victoria Road (although reversed to place the carport adjacent to the house).

We require at minimum two undercover car bays as employees drive a work vehicle (which we prefer for them to keep under cover) and have a personal vehicle. Many families have two personal vehicles.

Due to work vehicles having tools, tool boxes and equipment on the tray, we feel garages are preferable for security purposes and also give tenants ample secure storage space.

Thank you for considering our application.

Annette Thomas

IB Thomas & Son

TOTAL ROOF AREA = $127.36\text{m}^2 \times 0.9460 = 1910\text{LRS}$

ALL RAIN WATER DIVERTED AWAY FROM FOUNDATIONS
& BOUNDARIES VIA BUBBLE - BY OWNER.



LOT 14 (A12) BRIDE ST MILKWOOD
MURRAY THOMAS
18 THOMAS & SON

PROPOSED SHED
TOTAL AREA = 127.36m^2
FULLY ENCLOSED = 63.68m^2
FULLY OPEN = 63.68m^2
FFL = 100 mm ABOVE N.G.L.

Shoreline Out Door World

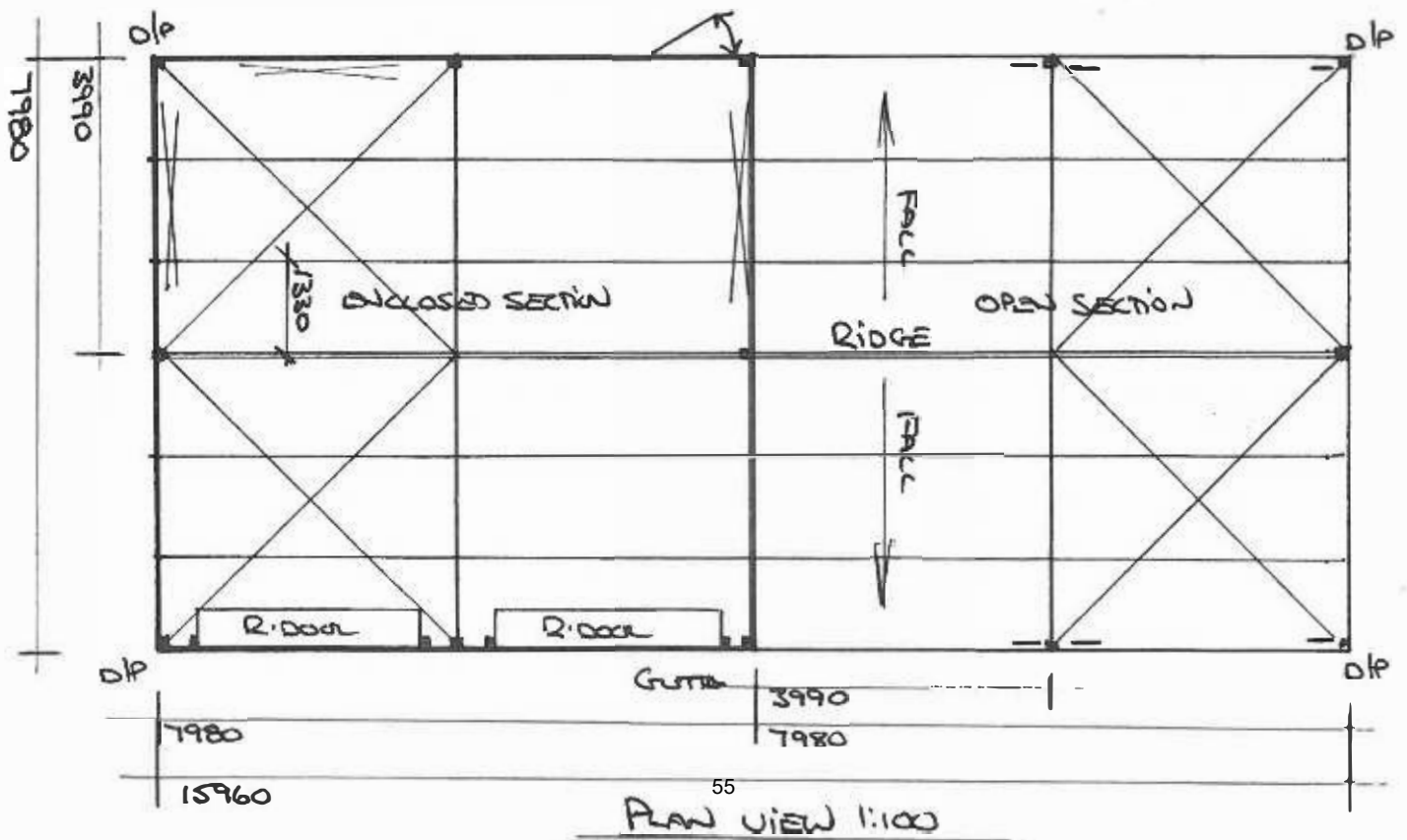
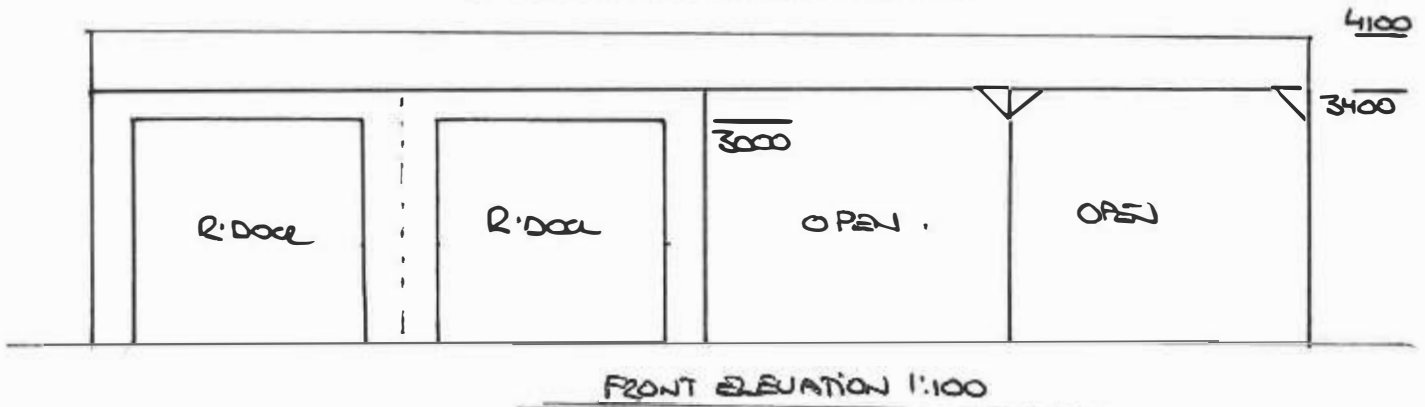
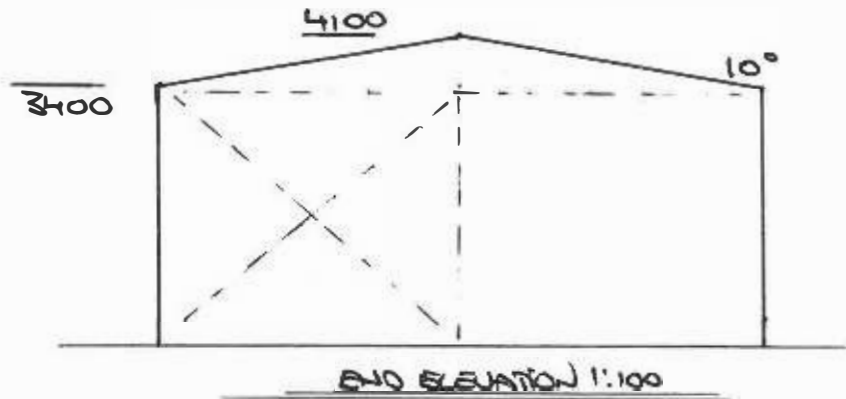
66 Flores Road , Geraldton . WA 6530
 PO Box 3223 , Bluff Point , Geraldton WA
 Tel. 99644447 Fax 99217119
 leon@shorelineodw.com.au

Owner - I B Thomas and Son
 Address - Lot 14 (#25) Bride Street , Mingenew .
 Proposed - shed
 Scale 1: 100
 Block area 1214 m²

Drainage note - Roof area m² = 127.36 x 0.9 / 60 Total litres 1910

All rain water to be directed away from foundations and boundaries via bubbler

By owner



Section & component schedule specifications:

All 'A' truss spans up to 11m: Chords 50x50x1.6 SHS Duragal.
 & all eaves trusses up to 8m: Webs 25x25x1.6 SHS Duragal.
 (all eaves trusses 400mm deep c/c).
 All truss columns:
 Up to 7m span & to 3m high 65x65x1.6 SHS Duragal.
 Up to 7m span & to 4m high 75x75x2 SHS Duragal.
 Greater than 7m up to 3m high 75x75x2 SHS Duragal
 Greater than 7m up to 4m high 75x75x3 SHS Duragal
 Greater than 7m up to 4.5m high 75x75x4 SHS Duragal

All eaves truss columns: Up to 3m high 75x75x3 SHS Duragal
 Up to 4.5m high 75x75x4 SHS Duragal

All cross & knee bracing: 25x25x1.6 SHS D'gal with 5PL cleat both ends & M10.
 OR 36x1.6 strap with 3 x 14G TEK both ends.

Truss to truss centres (bays): 4m max.

**All Duragal sections may be replaced by Supagal.
 But do not use Pregal (It is too weak)**

All footings **without** slab: 600 x 600 x 600 **Site Classes A & S & M.**

All footings with edge thickened slab over: 400 x 400 x 400

Footings each side of eaves truss: 700 x 700 x 700

Site Class M SLAB must be 125mm thick with SL72 mesh on 90mm chairs.

All truss to column & truss to purlin cleats: 5 PL Duragal OR 7PL 300/350MPa steel.

All cleat fixing bolts: 14 gauge TEK, 20mm off edge of cleat.

All purlins : C/Z10010 continuous (lap by 500mm with 6 TEKs) max spacing 1500mm

All girts : 50x50x1.6 SHS Duragal continuous or 40x40x2 SHS sleeve

Fix to col with two 14 gauge TEKs. Max girt spacing 1600mm.

All wall cladding: Trimwall 0.35 or Custom Orb 0.42 bmt

All roof cladding: Trimdeck 0.42 or Custom Orb 0.42 bmt

General

- 1.1 These sheds/garages are built to the lightest specifications possible & thus have deflections in high wind conditions of up to 1:100. they are not suitable for internal lining as live-in sheds.
- 1.2 All wall cladding and concrete slab must be in place before the roof cladding is screwed on.
- 1.3 These notes are to be read in conjunction with any architectural and other consultant service drawings and any specifications & any discrepancies to be resolved prior to construction.
- 1.4 Do not scale from these drawings.
- 1.5 All dimensions are to be checked on site.
- 1.6 All dimensions in millimetres unless otherwise marked.
- 1.7 All codes and standards referred to be latest version, including amendments
- 1.8 This design may be used to add extra bays to an existing shed of similar width & height.

Foundations

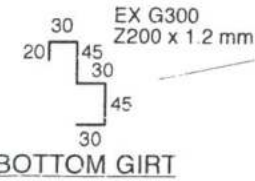
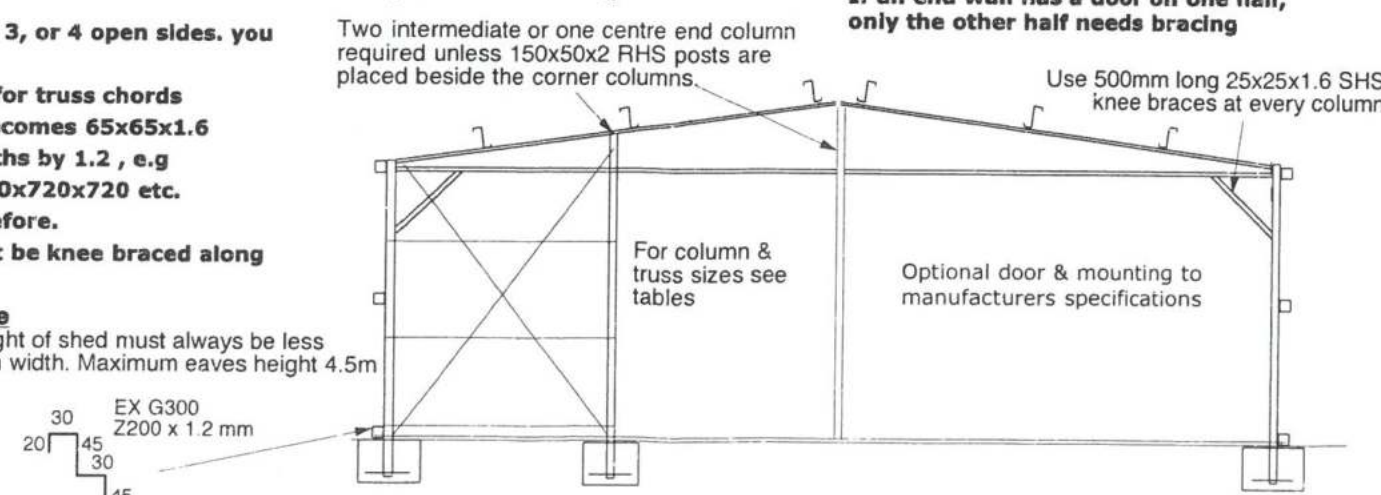
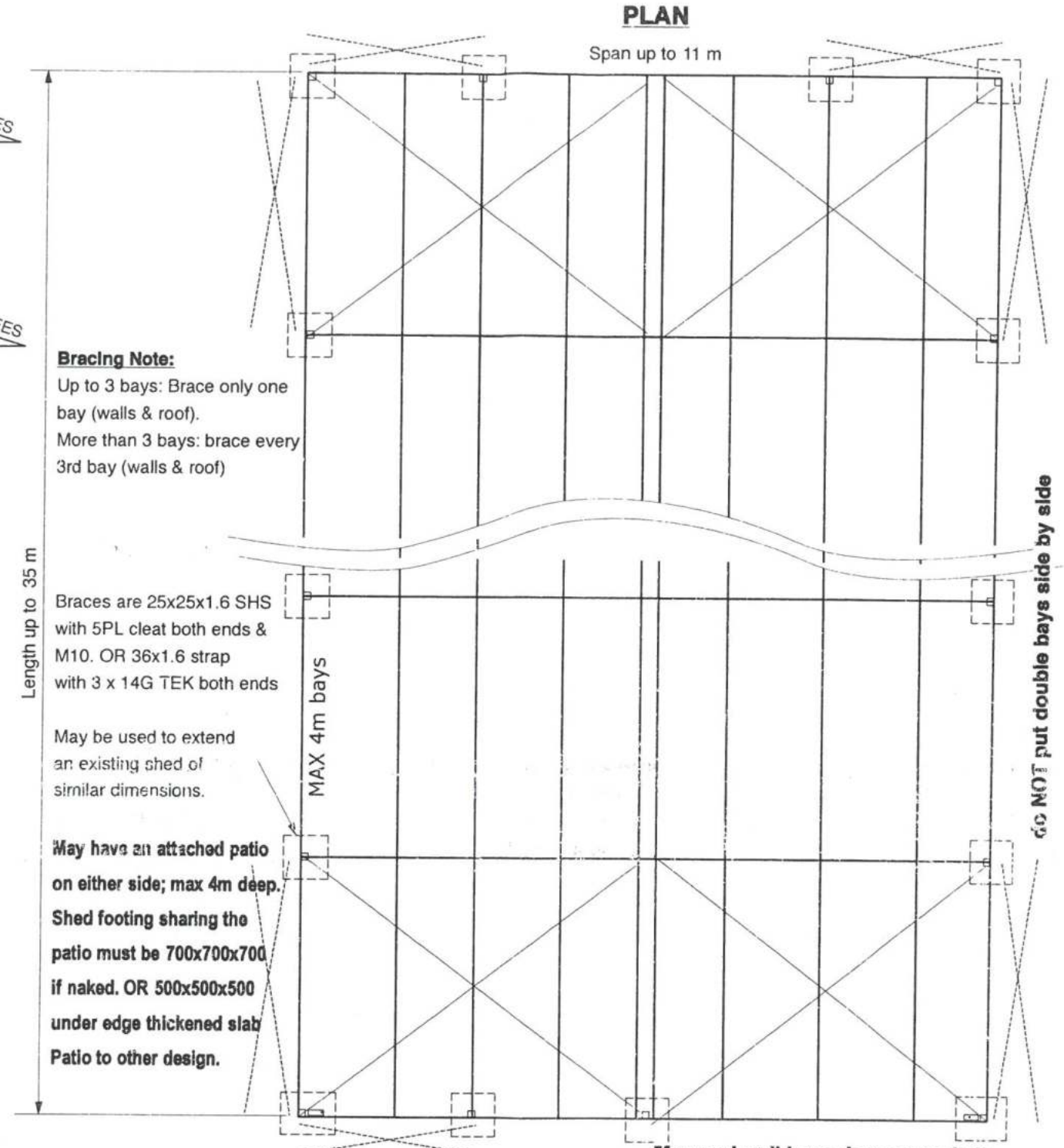
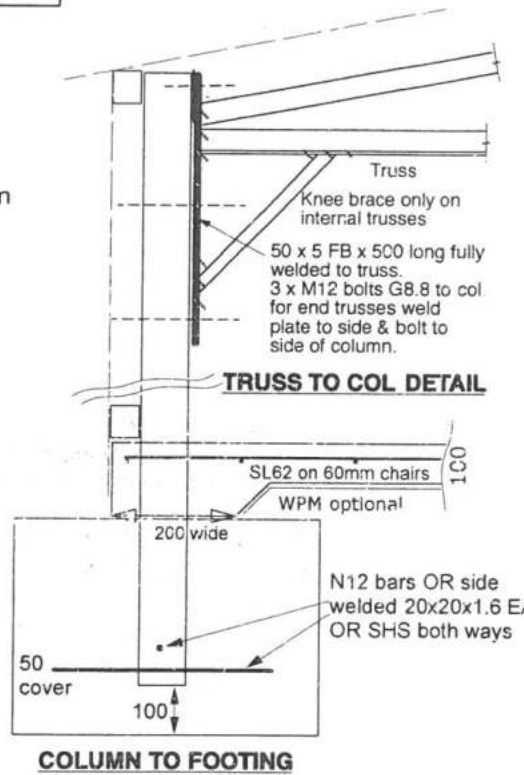
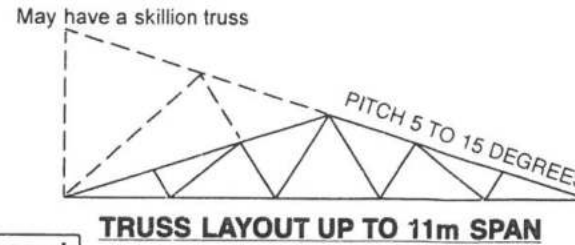
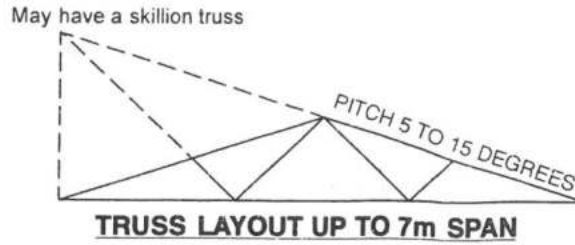
- 2.1 Remove all vegetation and topsoil in area to be covered by fill material or structure.
- 2.2 Tree stumps, rubbish, old excavations, clay or unstable fill etc to be cleared out and replaced with clean & compacted fill, or as required by the structural engineer.
- 2.3 (a) All foundation material below footings & slabs to be compacted for minimum depth of 1000mm in virgin soil & for the full depth of all fill.
 (b) All foundation material must give a penetrometer reading of 6 blows per 300mm.
 (c) Confirmation from a structural engineer that this level of compaction has been achieved may be required prior to the pouring of any footings or slabs.
 (d) All fill to be clean well drained sand compacted in layers.
- 2.4 All roof & surface water to be drained away & not allowed to pond near footings.

Concrete

- 3.1 All concrete is to be manufactured and placed in accordance with AS3600 - concrete structures code. blended cement is to be in accordance with AS1317.
- 3.2 All concrete N20/20/80.

Designed For Wind Region B, Terrain Category 2.5 SLAB Site Class A & S. For Class M use 125mm thick slab as per above notes.

Well Drained Sites. FOOTINGS Site Class A, S, M. Earthquake Acceleration Coefficient 0.12



Note: to build these sheds with 1, 2, 3, or 4 open sides. you must make these changes:

- Go up one width in all SHS sizes for truss chords & webs. e.g 50x50x1.6 becomes 65x65x1.6
- Multiply all footing widths & depths by 1.2, e.g 600x600x600 becomes 720x720x720 etc.
- Column sizes stay the same as before.
- All columns along open side must be knee braced along the plane of wall.

<p>Engineering Online Australia Pty Ltd. E: info@engineeringonline.com.au 75b Forrest St, Geraldton, WA 6530 PO Box 118, Geraldton, WA 6531. Ph: 0427747797</p>	SCALE: 1 : 20 Do not scale	CLIENT: SHORELINE OUTDOOR WORLD
	DWG # & SHEET: SNGTN06112011. SHT 1 / 1	PROJECT: CLOSED & OPEN 'A' TRUSS SHED/LEAN-TO.
	DATE: 1 March 2018	MAX 11m SPAN, 4m BAYS, 4.5m EAVES
	VOID UNLESS ORIGINAL RED INK SIGNED	Address must be filled in by Shoreline: LOT 14 (#25) BRIDE ST MINGANEN
Sam Nejad Principal Engineer MPhil Eng (Civil), B.Sc Eng, MIE Aust, CP Eng, NPER	56	



OUTBUILDINGS

LOCAL PLANNING POLICY

PURPOSE

Local Planning Policies assist the local government in making decisions under the Scheme.

It is not intended that a policy be applied rigidly, but each planning application be examined on its merits, with the objectives and intent of the policy the key for assessment. However, it should not be assumed that the local government, in exercising its planning discretion, will be limited to the policy provisions and that mere compliance will result in an approval.

The Shire encourages applicants to produce innovative ways of achieving the stated objectives and acknowledges that these may sit outside the more traditional planning and architectural approaches. In these instances, the local government is open to considering (and encourages) well-presented cases, during pre-application consultation, having due regard to the outcome of any public consultation undertaken and the orderly and proper planning of the locality.

SCOPE

A Local Planning Policy is not part of the Scheme and does not bind the local government in respect of any application for planning approval but the local government is to have due regard to the provisions of the Policy and the objectives which the Policy is designed to achieve before making its determination. The Scheme prevails should there be any conflict between this Policy and the Scheme.

OBJECTIVES

1. To provide development standards for outbuildings specific to the Shire of Mingenew, as appropriate.
2. To provide a clear definition of what constitutes an “outbuilding”.
3. To ensure that outbuildings are not used for habitation, commercial or industrial purposes by controlling building size and location.
4. To limit the visual impact of outbuildings.
5. To encourage the use of outbuilding materials and colours that complement the landscape and amenity of the surrounding areas.
6. To ensure that the outbuilding remains an ancillary use to the main dwelling or the principle land use on the property.

DEFINITIONS

‘Outbuilding’ means an enclosed non-habitable structure that is detached from any dwelling. For the purpose of this policy an open sided, roofed patio completely detached from the dwelling is also considered an outbuilding. For the purpose of this policy a non-enclosed addition to an existing outbuilding (e.g. veranda, patio, lean-to or carport etc.) shall constitute an extension to that outbuilding.

‘Front Building Line’ means the closest point of a house to the front boundary, drawn parallel to the that boundary. In the case of a corner lot, the front building line applies to both streets.

POLICY PROVISIONS

General

1. Pre-fabricated garden sheds, “cubby houses”, kennels and other animal enclosures (such as aviaries, stables) less than 9m² in total aggregate area and less than 2.5m in height (measured from natural ground level) are exempt from this policy provided they are located to the rear of the house, and of a design and colour considered in keeping with the amenity of the area by the local government.
2. Other than for general storage and/or agricultural purposes an outbuilding shall not be used for any commercial or industrial use without prior approval from Council.
3. The storage of accumulated personal items and any items in connection with a commercial or industrial operation (e.g. building materials, earthmoving equipment etc.) is considered contrary to the objectives of this policy and is therefore not considered sufficient justification for an increase in the maximum standards prescribed.

Height, Size and Setbacks

Outbuildings within the Residential, Rural Townsite or Tourism zones shall;

- (a) be single storey;
- (b) be located behind any dwelling on site;
- (c) meet all setback requirements set out in the Local Planning Scheme and this policy;
- (d) not be approved by the local government on a lot not containing a dwelling;
- (e) be attached to, or setback 1.8m from any dwelling and 1.2m from any septic tank.

The following maximum standards apply to outbuildings:

Zone / Lot Size	Maximum area (m ²)	Maximum wall length (m)	Maximum wall height (m) <i>(to be measured at natural ground level)</i>	Maximum roof height (m)
Rural, Rural Residential	Exempt from the area and height requirements of this policy			
All other zones - on lots under 1,500m ²	80	10	4	5
All other zones - on lots over 1,500m ²	200	N/A	4	5

(Table 1 – Site layout requirements)

Materials

The use of uncoated metal sheeting (i.e. zinalume or corrugated iron) is only permitted upon land zoned ‘Rural Residential’ or ‘Rural’.

Consultation

Applications that propose variation to any part of the Policy may require consultation with effected owners and/or occupiers, by means of the Shire writing directly to the surrounding landowners inviting comment, and placement of an advisory sign on-site for a period of not less than 14 days, prior to the application and any received submissions being placed before a meeting of Council for consideration.

Note: The advertising of a received application that proposes variation to any part of the Policy is undertaken to make the proposal available for inspection in order to provide opportunity for public comment and it should not be construed that final approval will be granted.

The local government in determining the application will take into account the submissions received but is not obliged to support those views.

ADMINISTRATION

REFERENCES

Shire of Mingenew Local Planning Scheme No.4
Residential Design Codes Western Australia
Planning and Development Act 2005
Planning and Development (Local Planning Schemes) Regulations 2015

ADOPTION

VERSION	STATUS	DATE	REFERENCE
DRAFT V1	Advertising	21/2/18	Minute Ref: 9.4.1
FINAL	Adoption	17/4/19	Minute Ref: 17041908
REVISION 1	Adoption	21/8/19	Minute Ref: 11.1

REVIEW

Review timeframe: Annually
Review responsibility: Chief Executive Officer



FORM OF APPLICATION FOR PLANNING APPROVAL

(PLEASE COMPLETE ALL BOXES)

OWNER DETAILS:

Name(s): KATIE ANNE THOARS

Postal Address: PO BOX 2192 GERALDTON WA Postcode: 6530

Contact Person: KATIE THOARS

Phone: [REDACTED] Email: [REDACTED]

Signature: [Signature] Date: 07/10/2024

Signature: _____ Date: _____

NOTE: The signatures of ALL the owner(s) is required to process this application.

APPLICANT DETAILS: (if different from owner)

Name: _____

Postal Address: _____ Postcode: _____

Contact Person: _____

Phone: _____ Email: _____

Signature: _____ Date: _____

PROPERTY DETAILS:

Lot/Location No: 113 House/Street No: 51

Street Name: SHENTON STREET Locality/Suburb: MINGENEW

Diagram/Plan No: _____ Volume No: _____ Folio No: _____

EXISTING DEVELOPMENT/LAND USE:

Nature of any Existing Development/Land Use: RESIDENTIAL

PROPOSED DEVELOPMENT/LAND USE:

Description of Proposed Development/Land Use: _____

RESIDENTIAL

Approximate Cost: \$50 = MINIMUM

Estimated Time of Completion: 3 YEARS

REQUIRED INFORMATION & FEES:

Please refer over for the information required to be submitted with this application and the schedule of fees. This application will not be processed without all required information including payment of the appropriate fee.

OFFICE USE ONLY:

Date Received: _____ Application No: _____

Accepting Officer's Initials: _____ File Number: _____

Required Fee: \$ _____ Date Paid: _____



Kerry Micke Designs

07-10-2024

Shire of Mingenew
21 Victoria Road
Mingenew WA 6522

Attention Town Planning

RE: 113 # 51 Shenton Street, Mingenew – Sea Containers and Transportable for residential use

I am submitting this cover letter in support of the development application for the project KMD016-24-01CS, including the greenhouse and transportable donga structures, located at Lot 113, Shenton Street, Mingenew.



Unit 2b #201 Foreshore Drive, Geraldton

0428 185 953

admin@kerrymickedesigns.com.au

<https://www.kerrymickedesigns.com.au>



Kerry Micke Designs

The following outlines the details of the proposed development, processes, and relevant considerations for the planning approval:

1. General Nature of the Development

The project consists of the construction and installation of:

- A greenhouse structure of approximately 30.25 m².
- Two sea containers with a combined area of 36.30 m².
- A transportable measuring 31.77 m².
- A Donga measuring 18.15 m².
- Associated verandah and site amenities, as per the attached plans.

2. Processes Involved

- **Noise and Emissions:** Construction noise will primarily involve machinery for site preparation and installation, with noise mitigation measures in place. No significant emissions (vibration, smell, smoke, etc.) are expected post-construction. The use of hand tools will be limited to day time use only
- **Traffic Generation:** During construction, vehicle movement will be limited to delivery of materials and contractor access. Once operational, minimal vehicular traffic is anticipated.
- **Safety and Health:** All safety standards will be adhered to, ensuring no health hazards to nearby residents.

3. Employment

- The development will employ minimal tradesman and sub-contractors. These include, plumbers, electricians and concrete/earthworkers.

4. Operating Hours

- Construction hours will follow local guidelines, generally between 8am and 4pm

5. Machinery Used

- Construction machinery includes excavators, cranes (for initial install only), and light vehicles, including sub-contractors and deliveries, with expected noise levels to remain within council regulations.



Kerry Micke Designs

6. Accompanying Plans

Three copies of the amended plans, scaled at 1:100, are enclosed, detailing:

- Site location, including lot number, street names, and dimensions.
- Existing and proposed ground levels, including the layout of the greenhouse, donga, and associated structures.
- Means of access for pedestrians and vehicles.


Thank you for your consideration.

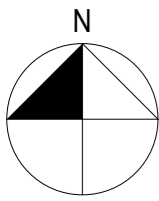
Sincerely,

Kerry Cairns
Manager

THOARS

**LOT 113 #51
SHENTON STREET
MINGENEW 6522**

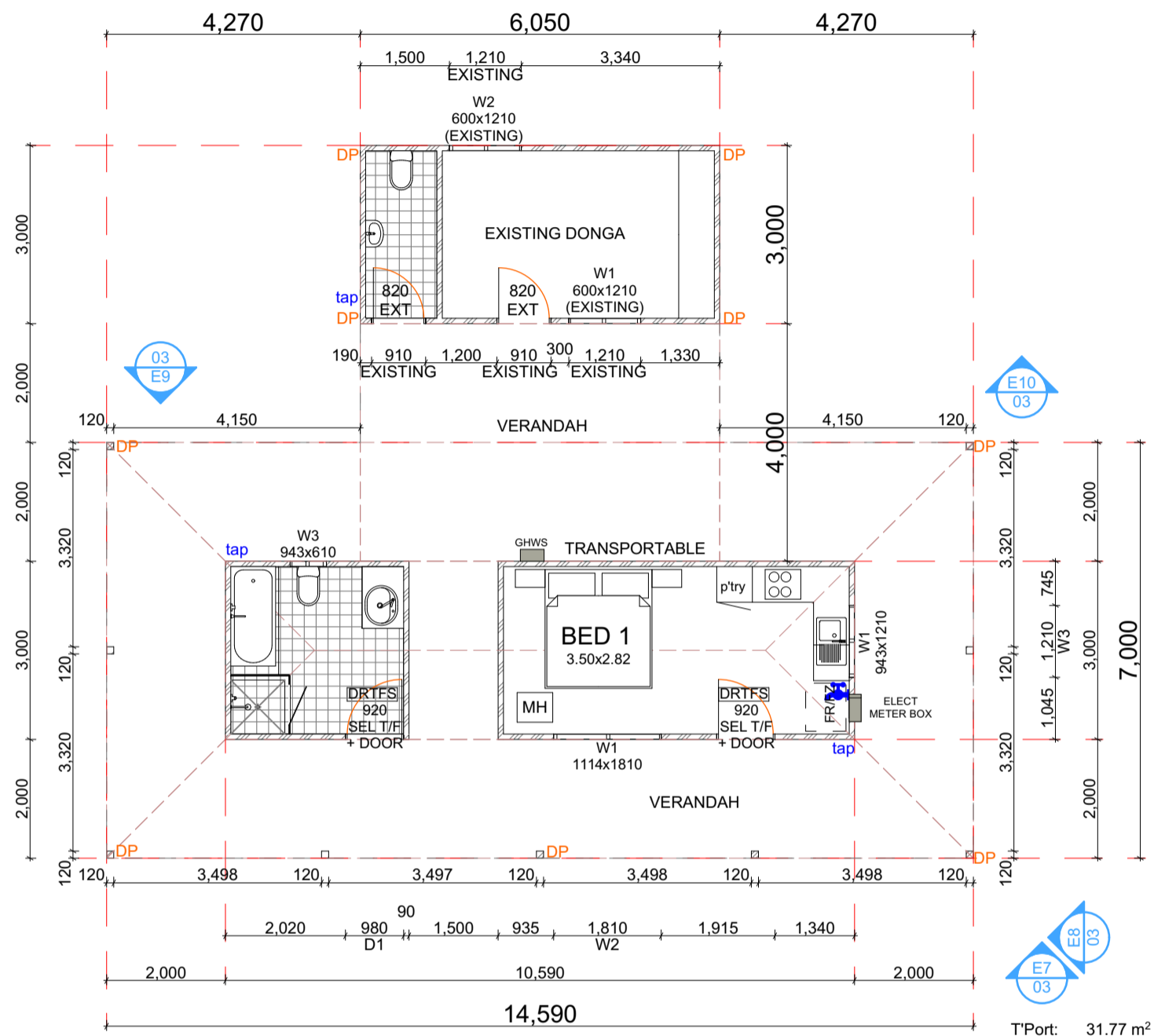
 <p>Kerry Micke Designs admin@kerrymickedesigns.com.au 0428 185 953</p>	KMD016-24-01CS
	Date completed: 7/10/2024
	SOIL: A Class Assumed
	ZONE: R12.5
	<small>NOTE: THESE DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER (KERRY MICKE DESIGNS). THEY MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN CONSENT</small>
	<small>DO NOT SCALE FROM DRAWINGS</small>
REVISION: 01	CLIENT SIGNATURE
01 amended plans 30-09-24	DATE
00 ORIGINAL ISSUE 27-08-24	
REVISION	



Kerry Micke Designs
 admin@kerrymickedesigns.com.au
 0428 185 953

CLIENT	
THOARS	
SCALE: 1:200 @ A3	JOB No. KMD016-24-01CS
DATE 7/10/2024	DRAWING TITLE SITE PLAN
REVISION: 01	
01 amended plans	30-09-24
00 ORIGINAL ISSUE	27-08-24
REVISION	
NOTE: THESE DRAWINGS ARE THE COPYRIGHT OF THE DESIGNER (KERRY MICKE DESIGNS). THEY MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN CONSENT. DO NOT SCALE FROM DRAWINGS	
CLIENT SIGNATURE	
DATE	DRAWING No. 05 of 5





T'Port: 31.77 m²
 V'dah: 82.46 m²
 Donga: 18.15 m²
Total: 132.38 m²

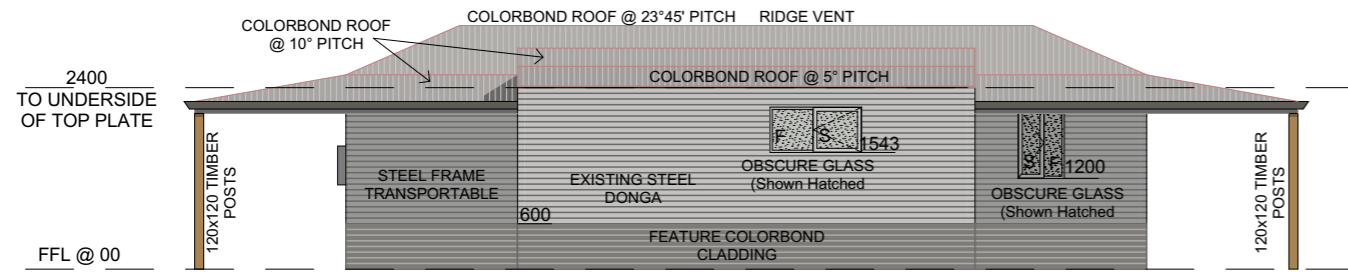
DONGA/TRANSPORTABLE FLOOR PLANS



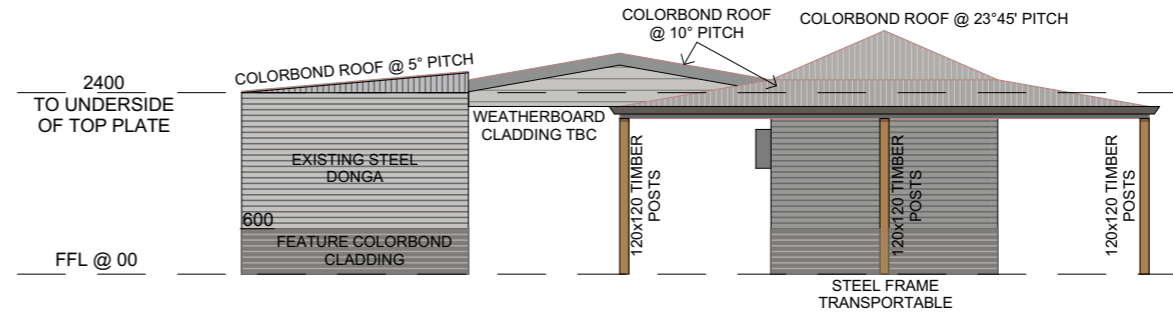
REVISIONS			01
RevID	Change Name		Date
01	amended plans	67	30-09-24
00	ORIGINAL ISSUE		27-08-24

CLIENT		THOARS
ADDRESS		LOT 113 #51 SHENTON STREET MINGENEW 6522
JOB No.	DRAWING TITLE	
KMD016-24-01CS	DONGA/TRANSPORTABLE PLANS	
DATE: 7/10/2024	SCALE: 1:100 @ A3	

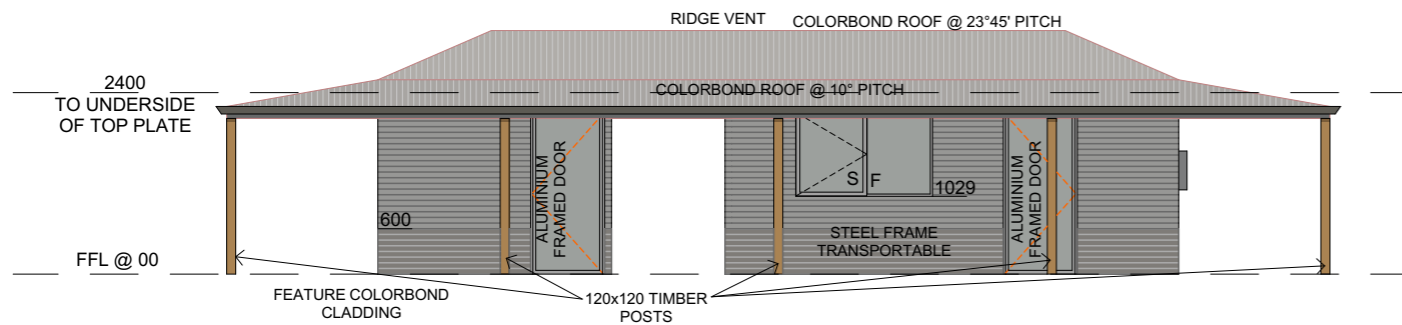
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CLIENT SIGNATURE	
DATE	DRAWING No. 02 of 5



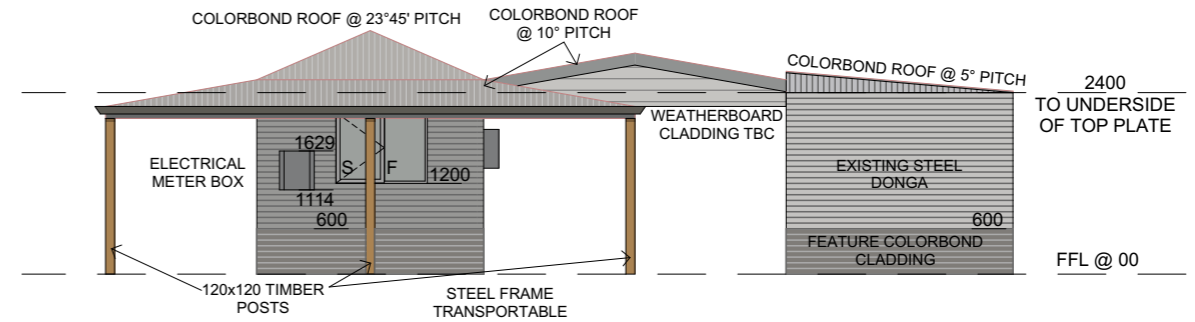
ELEVATION 5



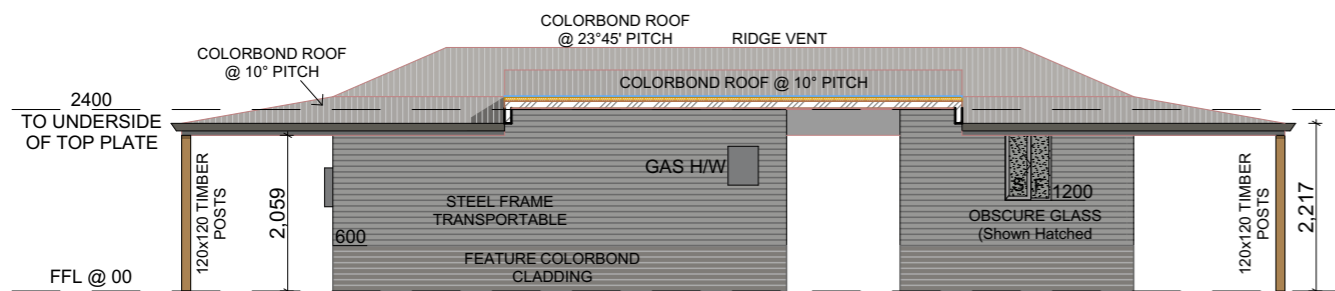
ELEVATION 6



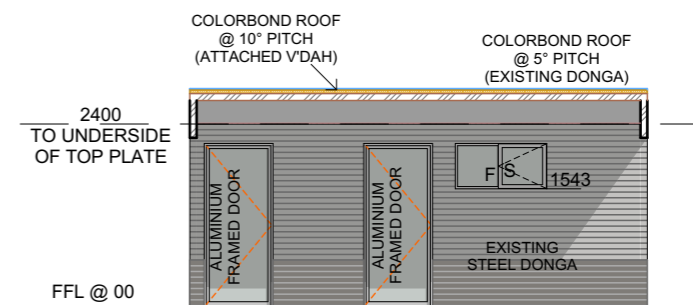
ELEVATION 7



ELEVATION 8



ELEVATION 9



ELEVATION 10

Dwelling colours:

Transportable:
 Walls: Colorbond Custom Orb - Colour: Southerly
 Feature cladding: Colorbond Custom Orb - Colour: Wallaby
 Roof/Gutter/Fascia: Colorbond Custom Orb - Colour: Wallaby

ELEVATION NOTES:

25c = 2143mm
 28c = 2400mm
 31c = 2567mm
 A = Awning
 S = Slider
 F = Fixed
 HWS = Hot Water System



REVISION: 01

NO	DESCRIPTION	DATE
01	amended plans	30-09-24
00	ORIGINAL ISSUE	27-08-24

REVISION

ADDRESS

LOT 113 #51
 SHENTON STREET
 MINGENEW 6522

CLIENT

THOARS

JOB No.
 KMD016-24-01CS

SCALE: 1:100 @ A3

DATE: 7/10/2024

DRAWING TITLE
 ELEVATIONS

NOTE:
 THESE DRAWINGS ARE THE COPYRIGHT OF THE
 DESIGNER (KERRY MICKE DESIGNS). THEY MAY NOT BE
 REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN
 CONSENT
 DO NOT SCALE FROM DRAWINGS

CLIENT SIGNATURE

DATE

DRAWING No.

03 of 5

THESE DRAWINGS ARE SUBJECT TO ENERGY RATING ASSESSMENT AND MAY CHANGE AT THE DISCRETION OF THE BUILDER

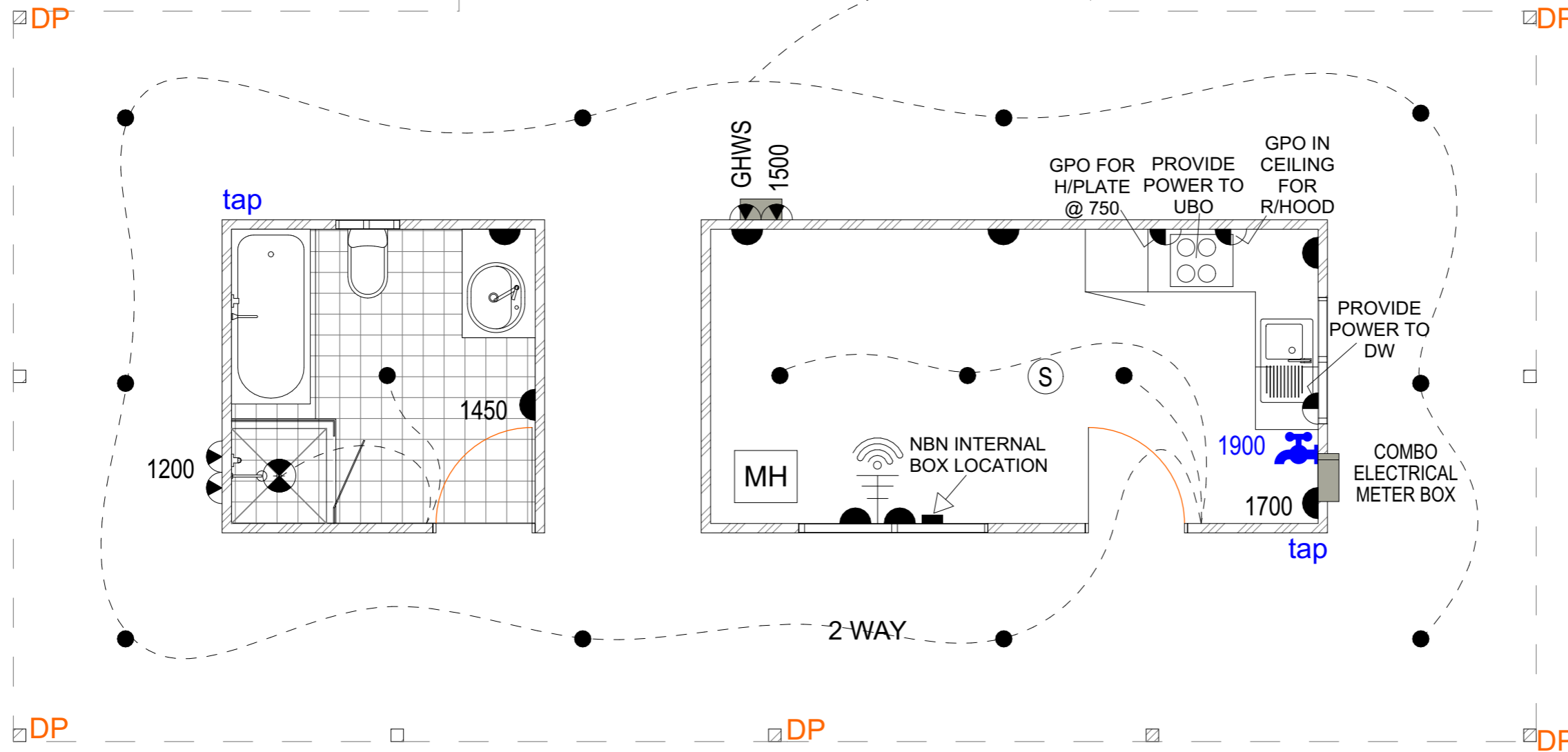
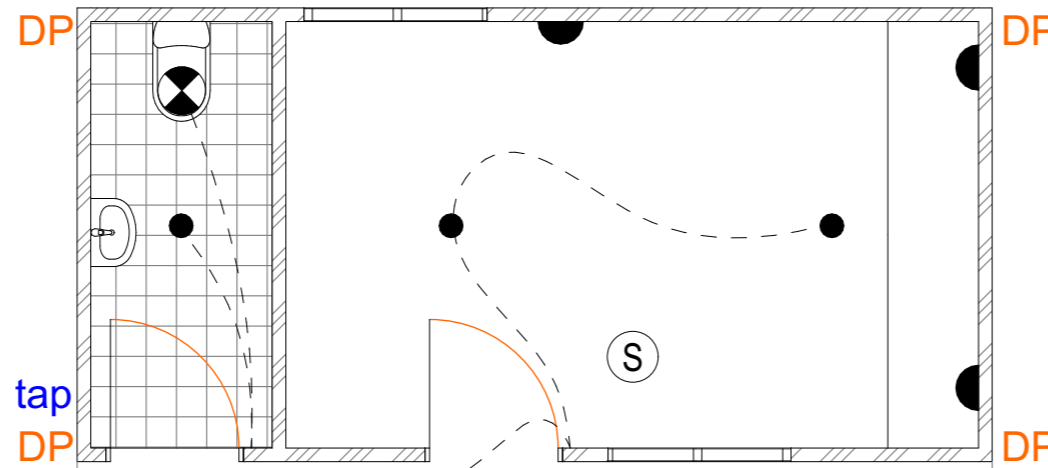
ALL ELECTRICAL WORKS CARRIED OUT TO COMPLY WITH AS/NZ3000:2007 AND ALL REVISIONS

SMOKE DETECTORS FITTED IN ACCORDANCE WITH AS 3786 TO BE HARD WIRED AND HAVE BATTERY BACKUP

ALL SMOKE ALARMS TO BE INTERCONNECTED AS PER 2014 BCA

ELECTRICAL LEGEND

●	10w LED - 90mm CUTOUT		
●	8w LED - 70mm CUTOUT		
●	10w TILTABLE LED - 90mm CUTOUT		
— —	SINGLE 36w FLUORESCENT		
○	FEATURE BUNKER LIGHT - 2.0m AFL		
●	BUNKER LIGHT - 2.0m AFL		
⊙	DATA POINT		
⊙	SMOKE DETECTOR - ALL HARDWIRED & INTERCONNECTED WITH BATTERY BACKUP		
⊙	DOUBLE & SINGLE WEATHER PROOF G.P.O		
⊙	ADJACENT NUMBER DENOTES HEIGHTS ABOVE FLOOR LEVEL		
⊙	SINGLE & DOUBLE G.P.O. - 300 AFL OR 150 ABOVE BENCH TOP UNLESS OTHERWISE NOTED		
⊙	QUAD G.P.O. - 300 AFL OR 150 ABOVE BENCH TOP UNLESS OTHERWISE NOTED		
⊙	TELEPHONE POINT, 300 AFL UNLESS OTHERWISE NOTED		
⊙	EXHAUST FAN FLUMED SEPARATELY SWITCHED		
⊙	T.V. AERIAL POINT- 300 AFL OR HEIGHT AS MARKED WITH SINGLE EXTERNAL AERIAL ROOF MOUNTED		
⊙	TWIN PAR FLOODLIGHT - 2.0m AFL		
⊙	CEILING FAN	⊙	CEILING FAN WITH LIGHT SEPARATELY SWITCHED
— —	SINGLE, TWO OR THREE WAY SWITCH AND LINE		
— —	FRIDGE FREEZER POWER POINT LOCATED TO THE RIGHT HAND SIDE OF RECESS		




Kerry Micke Designs
 admin@kerrymickedesigns.com.au
 0428 185 953

CLIENT

THOARS

SCALE: 1:50 @ A3 JOB No. KMD016-24-01CS

DATE 7/10/2024 DRAWING TITLE ELECTRICAL

ADDRESS
 LOT 113 #51
 SHENTON STREET
 MINGENEW 6522

REVISION: 01

01	amended plans	30-09-24
00	ORIGINAL ISSUE	27-08-24

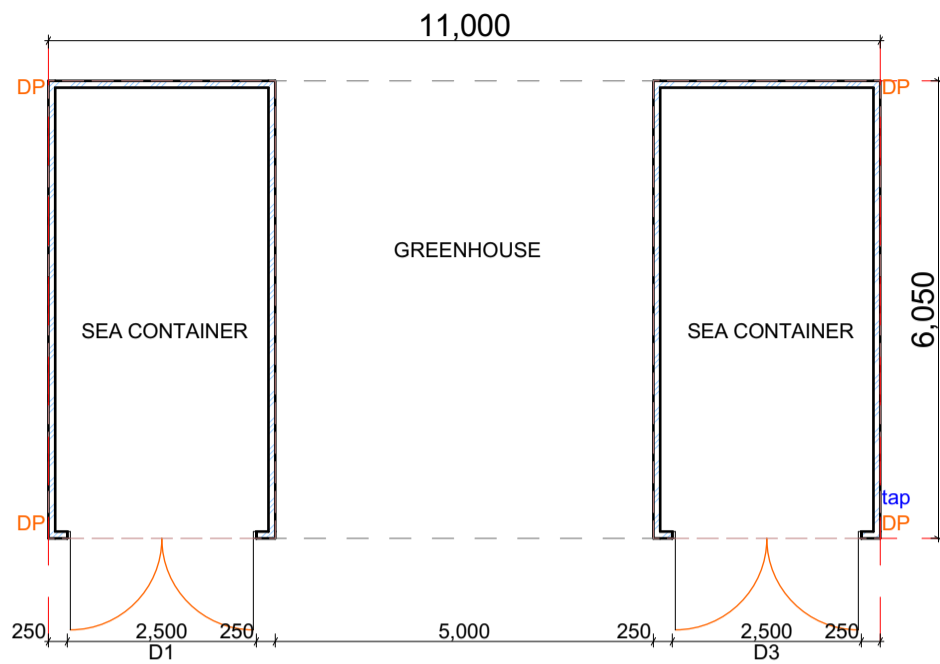
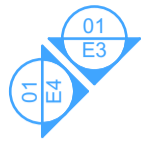
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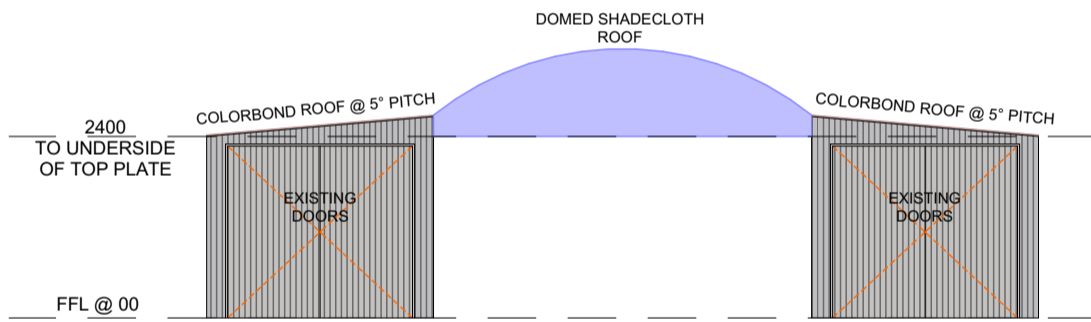
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DRAWING No. 04 of 5

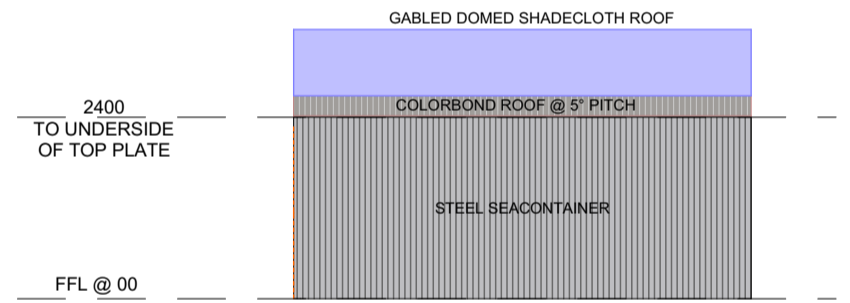


Greenhouse: 30.25 m²
 Sea Containers: 36.30 m²
Total: 66.55 m²

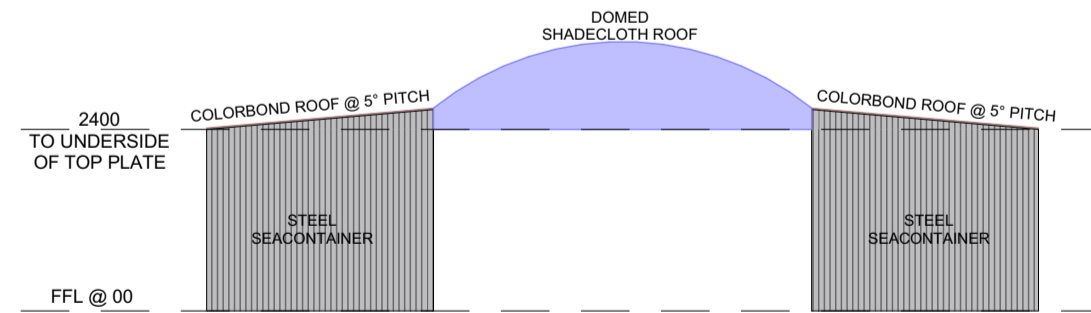
GREENHOUSE FLOOR PLANS



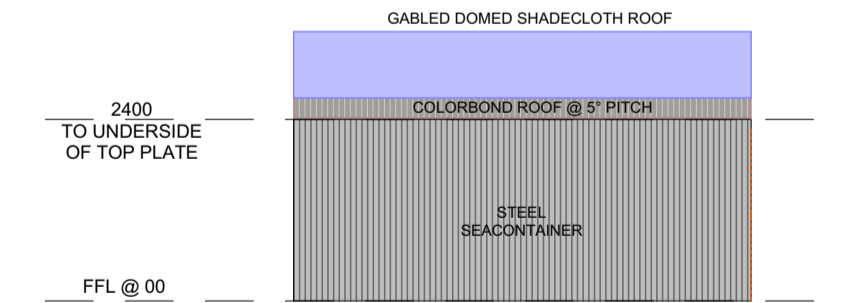
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

Dwelling colours:

Sea Container:

Walls: Colorbond Custom Orb - Colour: Southerly
 Roof/Gutter/Fascia: Colorbond Custom Orb - Colour: Wallaby



REVISIONS			01
RevID	Change Name		Date
01	amended plans	70	30-09-24
00	ORIGINAL ISSUE		27-08-24

CLIENT		THOARS	
ADDRESS		LOT 113 #51 SHENTON STREET MINGENEW 6522	
JOB No.	DRAWING TITLE		
KMD016-24-01CS	GREENHOUSE PLANS		
DATE: 7/10/2024	SCALE:	1:100 @ A3	

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DATE	DRAWING No. 01 of 5


MINGENEW WA 6522
14th November 2024

Shire of Mingenew
21 Victoria St
MINGENEW WA 6522

SUBMISSION Re: Proposed Secondhand/ Repurposed Dwelling Application

Please find attached our submission objecting to the above-mentioned application.

Also attached is a list of queries in regard to this proposal.

Kind regards



SHIRE OF MINGENEW
Development application submission 14th November 2024

Proposed Second-hand/Repurposed Dwelling & Sea Container Outbuilding –
~~47 (No 115) Shenton St, Mingenew.~~

51 SHENTON ST, MINGENEW *File.*

Name [REDACTED]

Postal Address [REDACTED]

Phone No. [REDACTED]

SUBMISSION OBJECTION

I OBJECT to the proposed dwelling at ~~47 (No 115) Shenton St Mingenew~~ ^{51 *File* SHENTON ST MINGENEW}
as it does not meet the criteria of the Mingenew townsite Local Planning Strategy

This strategy includes the following:-

(a) 02.7 Encourage a consistent pattern in the orientation. Scale and siting of residential development.

P2.13 In the case of residential development new buildings and development proposals shall respect the predominant orientation, scale and size of buildings and regular street pattern. New development is not to be sited in a way that would create an undesirable pattern of development for the area.

(b) 3.2.4 Victoria St redevelopment of vacant lots. Both commercial and residential lots need to be redeveloped to HIGH STANDARD.

(c) 4.2.6 Architectural Style. Architectural style refers to a combination of factors that influence building construction, such as built form, construction materials and local character. Developers will be encouraged to draw from the architectural palette of traditional homes in the townsite when planning new development.

AREA

Please note that the area in which this collection of repurposed buildings is proposed to be situated is bounded by Victoria St. and Shenton St. This area is the most recent residential development in Mingenew and the current residences are built to a very high standard and architecturally very similar.

The proposed development will not meet items (a) (b) and (c) as listed above. It would create an undesirable pattern of development for the area. The use of second-hand repurposed dwellings means that it will not be constructed to a High Standard. Its architectural style consisting of a collection of second hand dongas, an ablution block and 2 sea containers is not in keeping with the surrounding dwellings. It is visually unattractive.

Page 2

VALUES

The introduction of this style of dwelling will have an undesirable effect on the value of the surrounding properties.

Our residence, which was completed in 2023 was built to a high standard and architecturally in line with other buildings in the area. It was a high cost investment decision which we made to help attract people to work in our business and live in our town of Mingenew.

We do not want to see it devalued.

We believe the proposed dwelling will not meet the Mingenew Townsite Local Planning Strategy. it will adversely affect the amenity of the area.

The application should be refused.

QUERIES

1. Has a detailed report on the structural integrity of the structures, by a qualified building surveyor, been submitted to the shire? NB The containers already on the block are in poor condition.
2. Does the Shire have photos of the buildings showing their condition?
3. Where is the laundry in the plan?
4. What part will the sea containers play in a greenhouse?
5. Why is the structure positioned so far to the west in the Lot? What are the plans for the large area on the east side of the dwellings?
6. What sort of screen is proposed to screen the ablution block from the street view? The proposed fence will not be suitable for this purpose.

DEVELOPMENT APPLICATION SUBMISSION FORM

**Proposed Second-Hand/Repurposed Dwelling & Sea Containers
Outbuilding - 47 (Lot 115) Shenton Street, Mingenew**

Name: [REDACTED]

Postal Address: [REDACTED]

Phone Number: [REDACTED]

SUBMISSION: Support Object Indifferent

Please give in full your comments and any arguments supporting your comments
(if insufficient space, please attach additional sheets) -

- House/building is situated on the rear half of the block - it is not aligned similarly to adjacent houses.
- The toilet block has its door/entrance facing the street - privacy / public decomm issue? Is there a laundry incorporated
- Hopefully when clad the transportables look more house like - but overall design is not in keeping with adjacent houses - eg overall size, steel framed doors, placement, lack of garage or car port, and cladding material.

Signature: [REDACTED] Date: 18.11.2024

Please return to either: Shire of Mingenew or (fax) 9928 1128
PO Box 120
MINGENEW WA 6522 or enquiries@mingenew.wa.gov.au

NOTE: The local government in determining the application will take into account the submissions received but is not obliged to support those views.

Submissions Close: 4:00pm Friday 15 November 2024



DEVELOPMENT APPLICATION SUBMISSION FORM

Proposed Second-Hand/Repurposed Dwelling & Sea Containers Outbuilding - 51 (Lot 113) Shenton Street, Mingenew

Name: 

Postal Address: 

Phone Number: 

SUBMISSION: Support Object Indifferent

Please give in full your comments and any arguments supporting your comments (if insufficient space, please attach additional sheets) -

To whom it may concern,

I am writing to formally object to the submission for Shenton Street for secondhand transportable buildings. My concerns are as follows.

1. Aesthetic impact: The proposed buildings are not in keeping with the aesthetic of the street, which consist of primarily established and modern well-designed homes, including one home that is significant in the history if the town. The introduction of a collection of secondhand transportable structures will be visibly incongruous and detract from the attempts of other residents to create an established neighborhood. 2. Impact on property values. The presence of temporary structures such as these has the potential to devalue the neighboring homes. The current appeal of this part of town is tied to its established, well-maintained, high-quality homes, which these buildings would undermine. 3. Impact on town image. Allowing such developments risk making the town appear temporary and poorly planned rather than the thriving established community that Mingenew aspires to be. Shipping container style buildings and green house domes not the sort of image that will make Mingenew an appealing looking town and are more suited to rural and industrial areas. I urge the Mingenew Council to reconsider approval of this protect in favor of a more permanent, modern dwelling that helps make Mingenew look like a vibrant place to live.

Signature:  Date: 15-11-24

Please return to either: Shire of Mingenew or (fax) 9928 1128
PO Box 120
MINGENEW WA 6522 or enquiries@mingenew.wa.nov.au

NOTE: The local government in determining the application will take into account the submissions received but is not obliged to support those views.

Submissions Close: 4:00pm Friday 15 November 2024

To whom it may concern,

We appreciate the concerns raised regarding the proposed dwelling at (Lot 113) 51 Shenton St, Mingenew, WA, 6532. We understand the importance of maintaining the town's character and aesthetic appeal.

We acknowledge the Mingenew Townsite Local Planning Strategy's emphasis on consistency. Our design respects the predominant orientation, scale, and size of surrounding buildings. The use of repurposed materials does not necessarily compromise this.

While our design may differ from traditional homes, it incorporates sustainable and eco-friendly elements, repurposed materials reduce waste and environmental impact. We believe this aligns with the town's values.

Beauty is subjective. Our design combines functionality with unique character for our personal life style. We propose additional landscaping and screening to enhance the streetscape.

We understand concerns about property values. However, our research suggests that innovative, sustainable designs can increase property values by attracting like-minded residents.

Queries

The outside of the Transportable Buildings and Ablution/Laundry Building will be cladded with Mini Orb. Colours that match neighbouring properties and Verandah on all sides.

The Bird Beak Hakea (Hakea Orthorrycha] and other native plants will be the choice of landscape for the front, keeping with the symbolic theme plant for the town as it is an important local plant as well as other natives.

The laundry facility is integrated within the dwellings (the ablution block).

The sea containers serve as additional storage, garden shed, general tool, building material shed, motor bike, boat areas. Both will be secured and lined with fridge panelling for insulation. Cladded Colour Bond on the outside. Both cladded sea containers will be attached structural by an engineer too the greenhouse which will grow an abundance of food, herbs, vegetables and fruit.

The structure's western positioning allows for future expansion on the eastern side and a more private entrance with allows extra landscaping, 1 water tank for Personal and Bush Fire purposes at front and 1 at back.

A suitable screen, landscaping and a water tank, exceeding the proposed fence, will be installed too conceal the Ablution/Laundry building.

We will revise the design to better align with adjacent houses if necessary.

Ensure the Ablution/Laundry door faces away from public view.

Provide additional landscaping and screening along the Ablution/ Laundry section of patio.

Conduct regular maintenance and up keep to ensure the structure's integrity.

We believe our proposal aligns with the Mingenew Townsite Local Planning Strategy's core principles. We are willing to work with the Shire and stakeholders to address concerns and refine our design.

We look forward to further discussion. Thank you for your time

Kind Regards
Katie Thoars



Kerry Micke Designs

27-11-2024

Shire of Mingenew
21 Victoria Road
Mingenew WA 6522

Subject: Response to Objections for Development Application at 51 Shenton Street

Dear Matt Fanning,

I am writing to respond to the objections raised regarding the proposed development at **51 Shenton Street**, particularly addressing concerns about compliance with the Mingenew Townsite Local Planning Strategy and the visual impact on the area.

Addressing Specific Concerns:

1. Architectural Style and Visual Integration

The development will reflect a modern and high-quality design aesthetic. Below is an example of the look and colour scheme selected by the client and well as a rough render of the desired look, which incorporates contemporary materials and styling. This ensures the dwelling blends with the existing architecture in the area, while maintaining the uniqueness of the design.

- The proposed repurposed structure will be refurbished to a high standard, ensuring a clean, professional finish.
- Additional landscaping and screening measures will be incorporated to enhance the site's visual appeal.
- In response to concerns raised about the proposed development's aesthetic impact and suitability for the area, I want to clarify that while the structures originate as second hand transportable buildings, significant effort is being invested to ensure their integration into the character and appeal of the neighbourhood. These buildings will not remain in their original state; instead, they will undergo extensive cladding and finishing to align with modern architectural standards.
- A unified main roof will encompass the entire structure, giving it a cohesive, polished appearance that complements the surrounding homes. The design includes high-quality materials and a colour palette that blends seamlessly with the existing streetscape. This approach ensures the development will enhance the area's aesthetic appeal rather than detract from it.

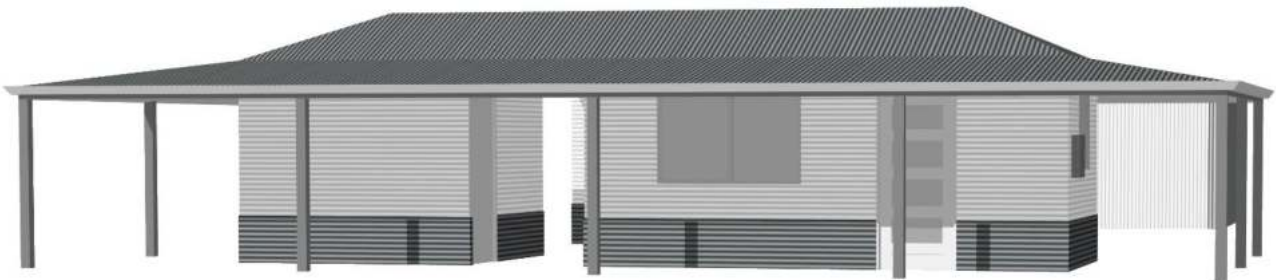


Kerry Micke Designs



← Photo Example of colour scheme

3D render concept plan



2. Alignment with the Local Planning Strategy

- **Orientation, Scale, and Siting:** The positioning of the structures is intended to maximize land use while maintaining consistency with the street's overall development pattern. This includes planning for a future house to be situated at the front of the property.
- **Architectural Palette:** While using repurposed materials, the dwelling's design will draw inspiration from traditional homes, as demonstrated in the attached example.

3. Impact on Property Values

The design and quality of the proposed dwelling will complement the area's high standards, with the intention of maintaining property values. Measures such as landscaping, thoughtful siting, and a professionally finished exterior will mitigate any concerns about visual inconsistency.



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4. Condition and Screening of Existing Structures

- **Sea Containers:** The sea containers will serve as storage for the greenhouse and will be refurbished to ensure durability and aesthetic compatibility.
- **Screening Measures:** A suitable screen will be installed to obscure the ablution block and other functional areas from street view. This will involve either a higher fence, bamboo screening and visually pleasing landscaping.

Response to Queries:

1. **Structural Integrity:** A structural assessment report will be provided as requested, confirming that all components meet safety and durability standards.
2. **Condition Photos:** Photos and additional documentation of the current structures have been submitted to the Shire for review.
3. **Laundry Plan:** The laundry is a combined bathroom/laundry space which has been noted on the amended plans.
4. **Sea Container Use in Greenhouse:** The sea containers will act as storage for the greenhouse and house.
5. **Positioning:** The western placement allows for optimized access and leaves the eastern space available for landscaping and future development.
6. **Ablution Block Screening:** Screening will include high-quality materials and/or vegetation to ensure the site remains visually appealing.

Conclusion:

This proposal is designed to align with the goals of the Mingenew Townsite Local Planning Strategy while addressing the specific concerns of neighbouring residents. It aims to provide a sustainable, visually cohesive, and functional development that enhances the area.

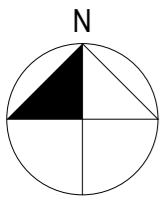
Thank you for considering these points. Please do not hesitate to reach out if further clarification is required.

Sincerely,
Kerry Cairns

THOARS

**LOT 113 #51
SHENTON STREET
MINGENEW 6522**

 <p>Kerry Micke Designs admin@kerrymickedesigns.com.au 0428 185 953</p>	KMD016-24-01CS
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	SOIL: A Class Assumed
	ZONE: R12.5
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01 amended plans 30-09-24	DATE
00 ORIGINAL ISSUE 27-08-24	
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DATE 27/11/2024	DRAWING TITLE SITE PLAN
REVISION: 01	

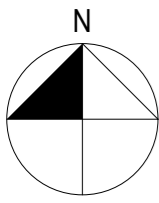
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1:200 @ A3	KMD016-24-01CS
DATE	DRAWING TITLE
27/11/2024	LANDSCAPING PLAN
REVISION: 01	

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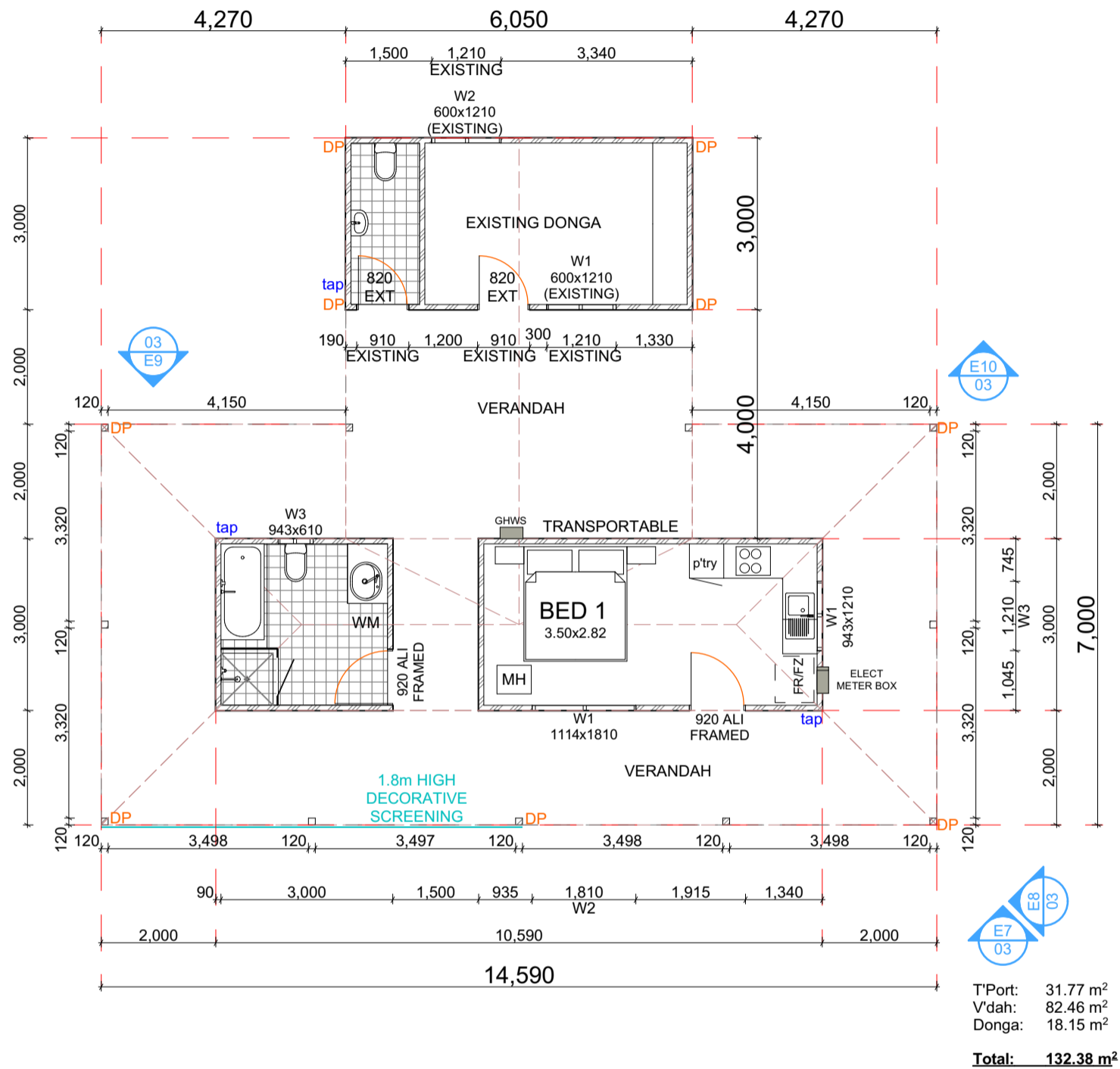
DATE

DRAWING No.
06 of 6



NATIVE PLANTS AND SHRUBS SUITABLE TO THE AREA:

- Hakea Orthorrhya (Bird Beak Hakea)
- Eremophila family
- Anigozanthos Humilis (Catspaw)
- Grevillea family
- Banksia Fraseri
- Hakea Lissocarpha (Honey Bush)
- Acacia family
- Eucalyptus Macrocarpa (Mottlecah)
- Orthrosanthus Laxus (Morning Iris)
- Verticordia Densiflora (Compacted Featherflower)
- Enchylaena Tomentosa (Barrier Saltbush)
- Dasymalla Terminalis (Native Foxglove)



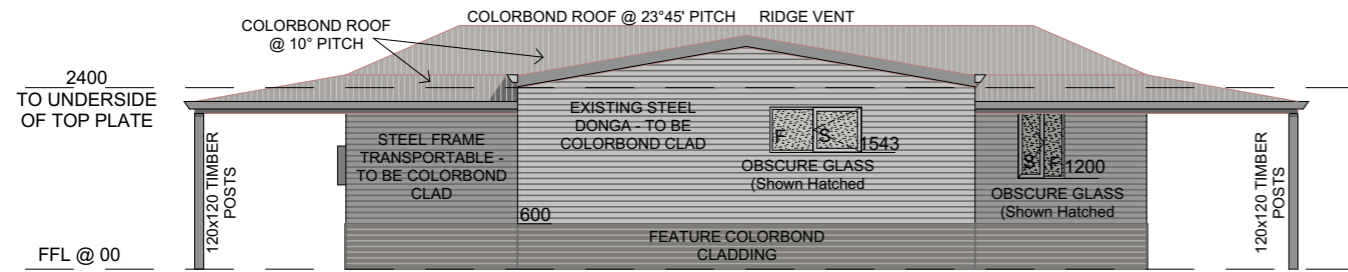
DONGA/TRANSPORTABLE FLOOR PLANS



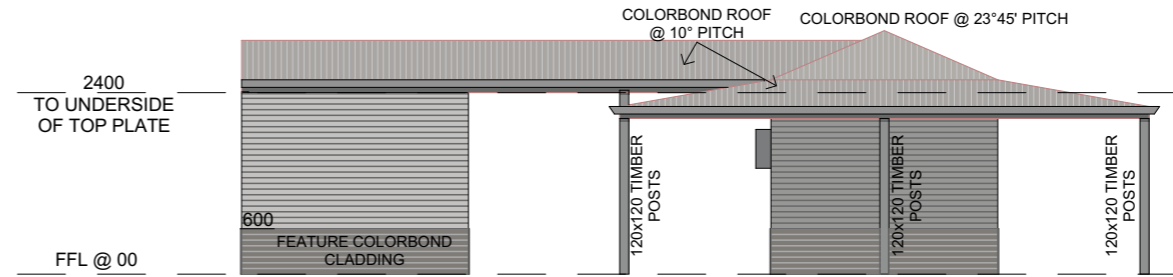
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ADDRESS		LOT 113 #51 SHENTON STREET MINGENEW 6522
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KMD016-24-01CS	DONGA/TRANSPORTABLE PLANS	
DATE: 27/11/2024	SCALE: 1:100 @ A3	

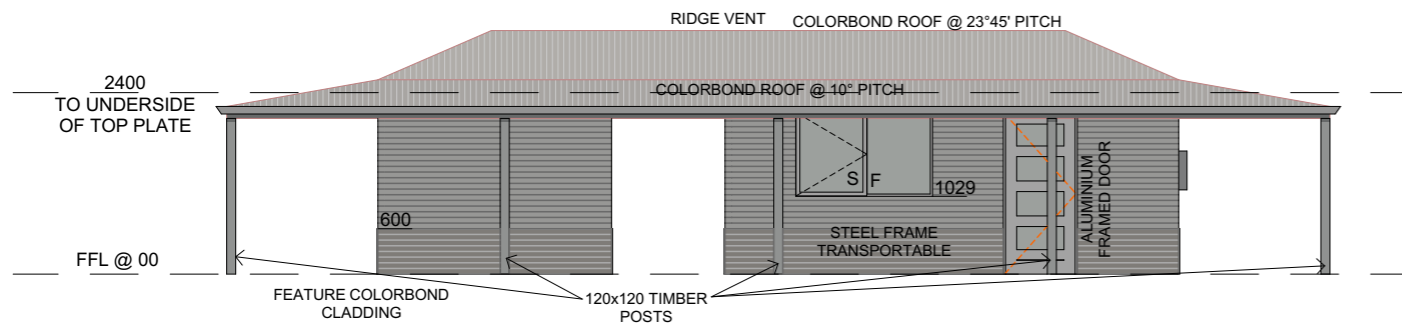
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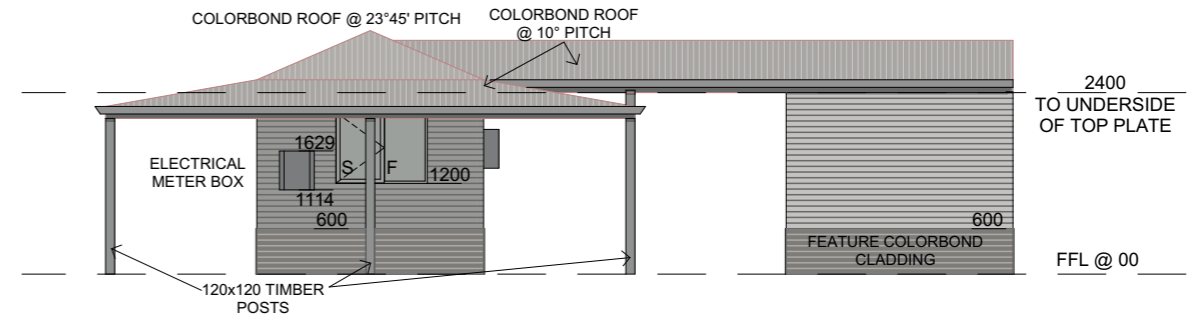
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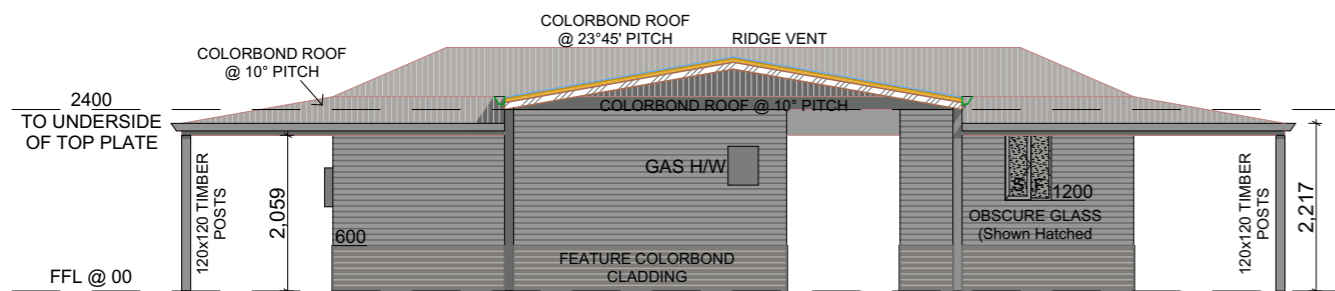
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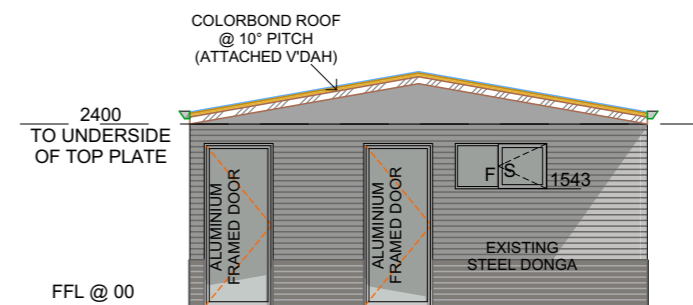
ELEVATION 7



ELEVATION 8



ELEVATION 9



ELEVATION 10

Dwelling colours:

Transportable:
 Walls: Colorbond Custom Orb - Colour: Southerly
 Feature cladding: Colorbond Custom Orb - Colour: Wallaby
 Roof/Gutter/Fascia: Colorbond Custom Orb - Colour: Wallaby

ELEVATION NOTES:

25c = 2143mm
 28c = 2400mm
 31c = 2567mm
 A = Awning
 S = Slider
 F = Fixed
 HWS = Hot Water System



REVISION: 01

NO	DESCRIPTION	DATE
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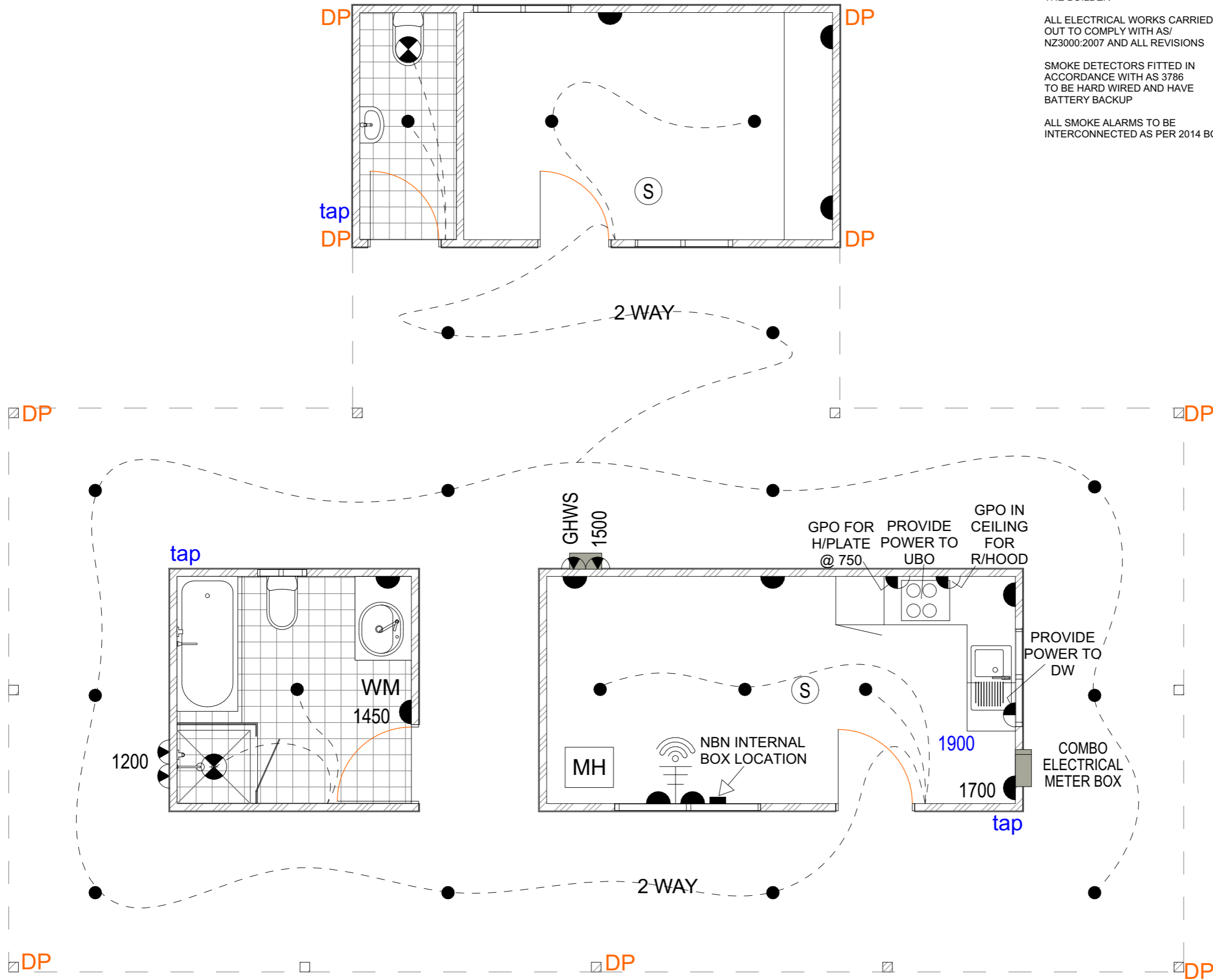
ALL ELECTRICAL WORKS CARRIED OUT TO COMPLY WITH AS/NZ3000:2007 AND ALL REVISIONS

SMOKE DETECTORS FITTED IN ACCORDANCE WITH AS 3786 TO BE HARD WIRED AND HAVE BATTERY BACKUP

ALL SMOKE ALARMS TO BE INTERCONNECTED AS PER 2014 BCA

ELECTRICAL LEGEND

●	10w LED - 90mm CUTOUT		
●	8w LED - 70mm CUTOUT		
●	10w TILTABLE LED - 90mm CUTOUT		
— —	SINGLE 36w FLUORESCENT		
○	FEATURE BUNKER LIGHT - 2.0m AFL		
●	BUNKER LIGHT - 2.0m AFL		
⊙	DATA POINT		
⊙	SMOKE DETECTOR - ALL HARDWIRED & INTERCONNECTED WITH BATTERY BACKUP		
⊙	DOUBLE & SINGLE WEATHER PROOF G.P.O		
⊙	ADJACENT NUMBER DENOTES HEIGHTS ABOVE FLOOR LEVEL		
⊙	SINGLE & DOUBLE G.P.O. - 300 AFL OR 150 ABOVE BENCH TOP UNLESS OTHERWISE NOTED		
⊙	QUAD G.P.O. - 300 AFL OR 150 ABOVE BENCH TOP UNLESS OTHERWISE NOTED		
⊙	TELEPHONE POINT, 300 AFL UNLESS OTHERWISE NOTED		
⊙	EXHAUST FAN FLUMED SEPARATELY SWITCHED		
⊙	T.V. AERIAL POINT- 300 AFL OR HEIGHT AS MARKED WITH SINGLE EXTERNAL AERIAL ROOF MOUNTED		
⊙	TWIN PAR FLOODLIGHT - 2.0m AFL		
⊙	CEILING FAN	⊙	CEILING FAN WITH LIGHT SEPARATELY SWITCHED
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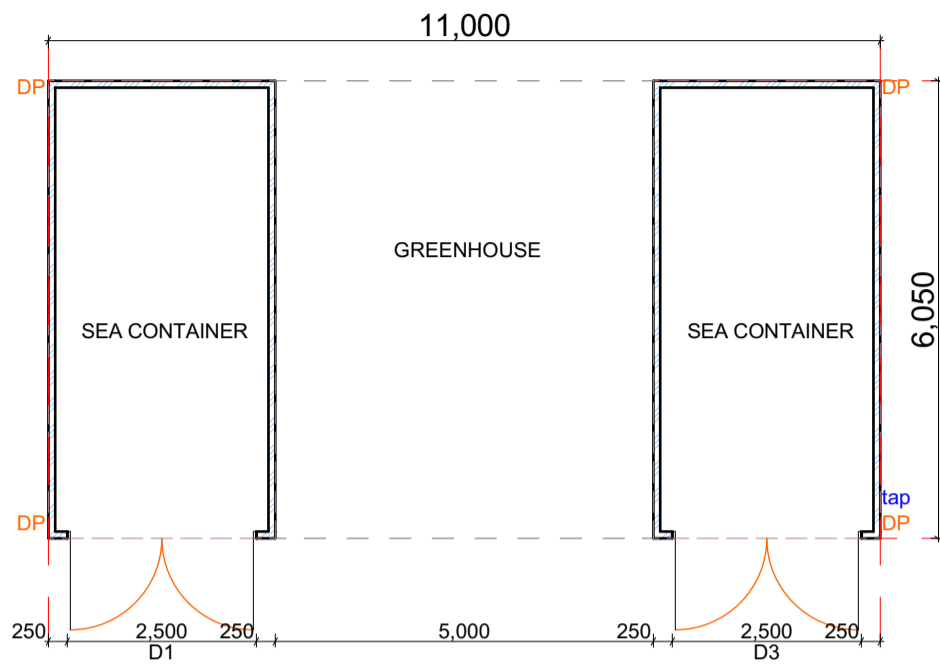
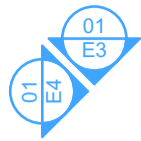
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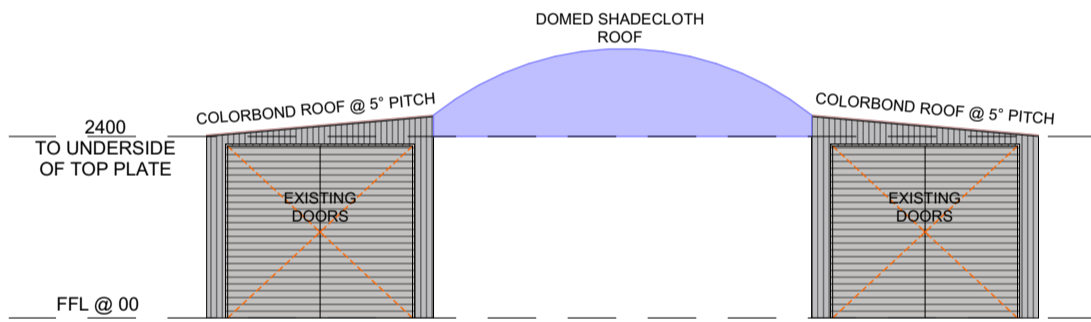
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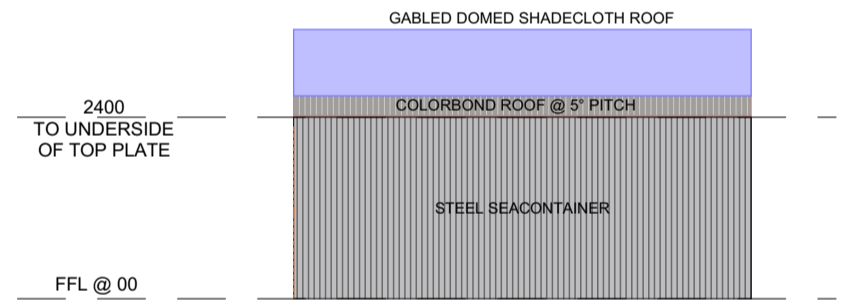


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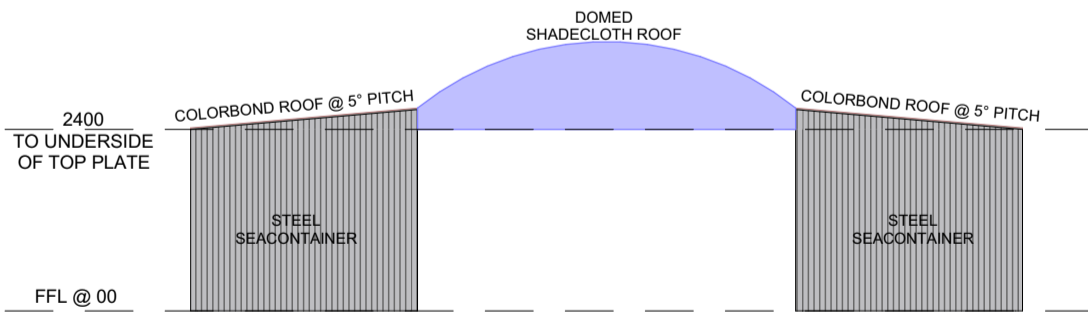
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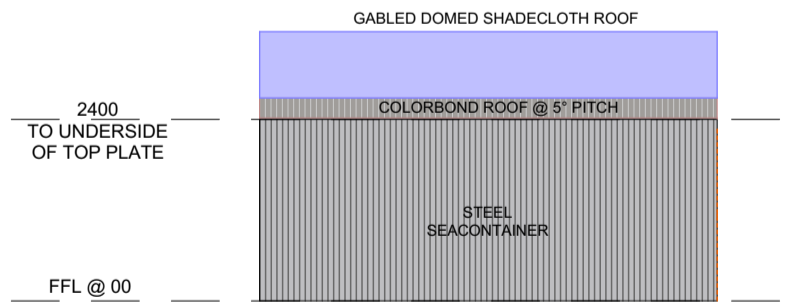
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

Dwelling colours:

Sea Container:

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REVISIONS			01
RevID	Change Name		Date
01	amended plans	87	30-09-24
00	ORIGINAL ISSUE		27-08-24

CLIENT THOARS	
ADDRESS LOT 113 #51 SHENTON STREET MINGENEW 6522	
JOB No. KMD016-24-01CS	DRAWING TITLE GREENHOUSE PLANS
DATE: 27/11/2024	SCALE: 1:100 @ A3

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DATE	DRAWING No. 01 of 6