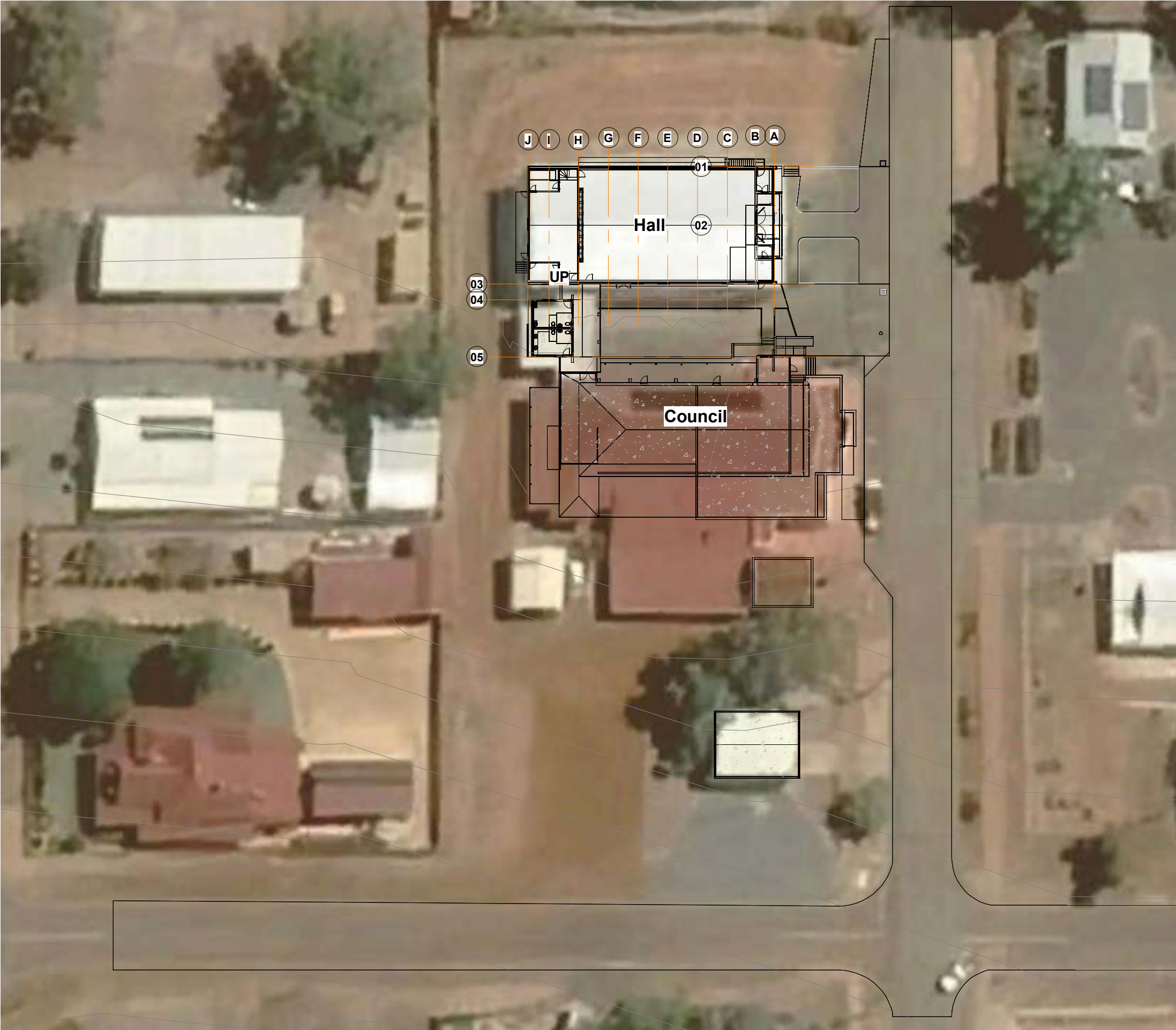


Mingenew Hall Restoration 2024



1 Locality
1 : 10000



2 Existing Site Plan
1 : 500



Read these drawings in conjunction with the "Mingenew Hall Options 2024 - Brief and Scope Report" by Studio Mango, January 2024, and the design video.

Drawing List		
Sheet Number	Sheet Name	Issue description
DD00	Cover	Developed Design
DD01	Existing Plans and Elevations	Developed Design
DD02	Existing Sections & 3D	Developed Design
DD03	Demolition Plan	Developed Design
DD04	RW1-Proposed Plan	Developed Design
DD05	Entry, portal frame	Developed Design
DD06	RW 1 Sliding doors, stage exit & Electrical	Developed Design
DD07	Sections	Developed Design
DD08	Elevations	Developed Design
DD09	Celling and Roof Plan	Developed Design
DD10	SP1 Bar and Kitchen	Developed Design
DD11	SP2 Chair Storage & SP3 Breakout Courtyard	Developed Design
DD12	SP4 Mezzanine stair and stage platform lift	Developed Design
DD13	SP 5 Front of Building Works	Developed Design
DD14	SP6 Stage A/V & Blackout & SP7 PWD Toilet	Developed Design
DD15	SP 8 Stage Change Room	Developed Design

All works generally to NCC 2024 and applicable standards. Builder to provide building certification.

General Disclaimer

This model is based on site measures undertaken in November 2023.

Some areas were inaccessible, such as the sub floor, internal walls, and we had no safe access to heights.

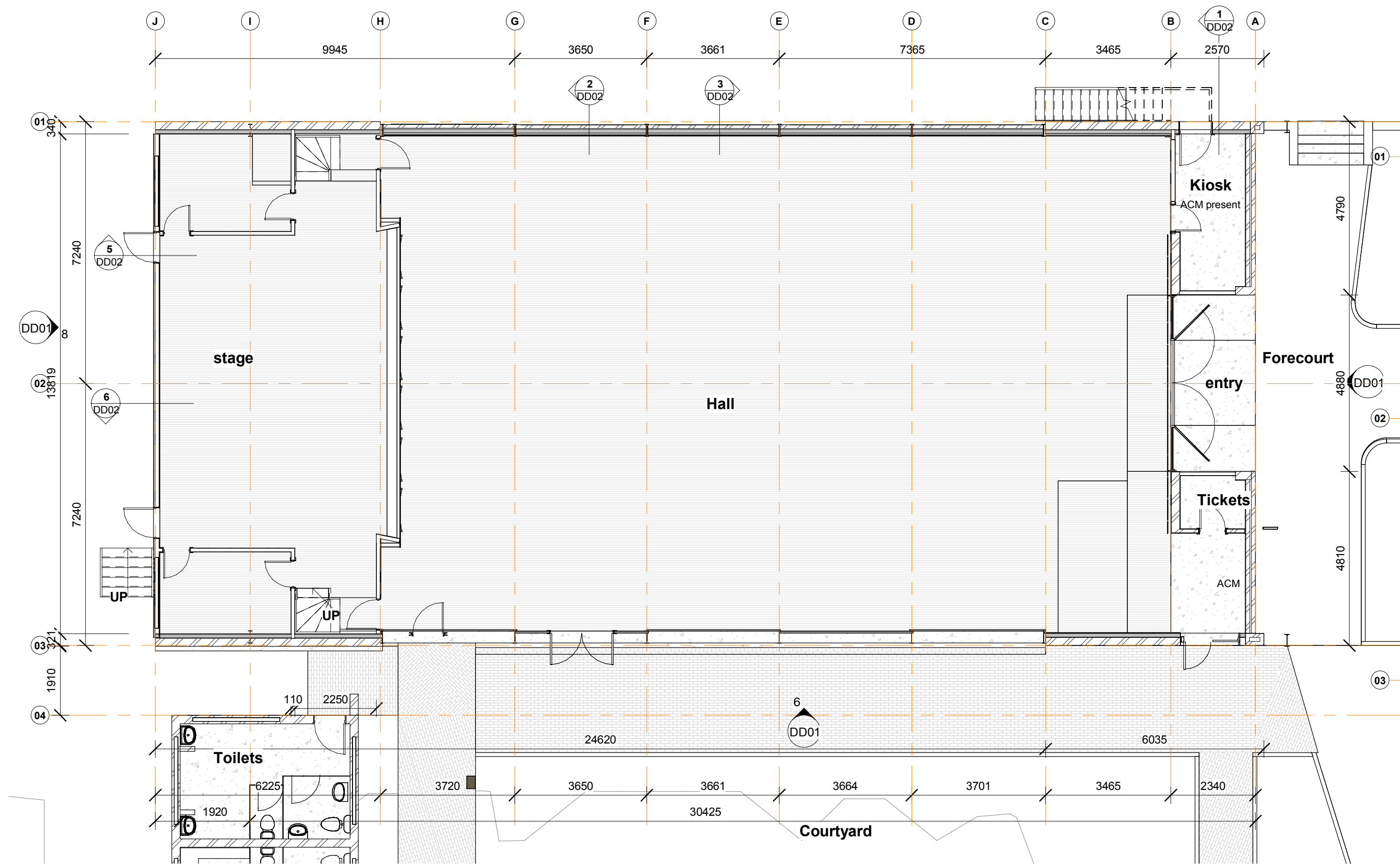
The original drawings are largely illegible and so we do not know the detailed structural design or construction of some parts of the building.

We have no definitive levels or survey at this stage. Levels have been estimated from photos and site visit.

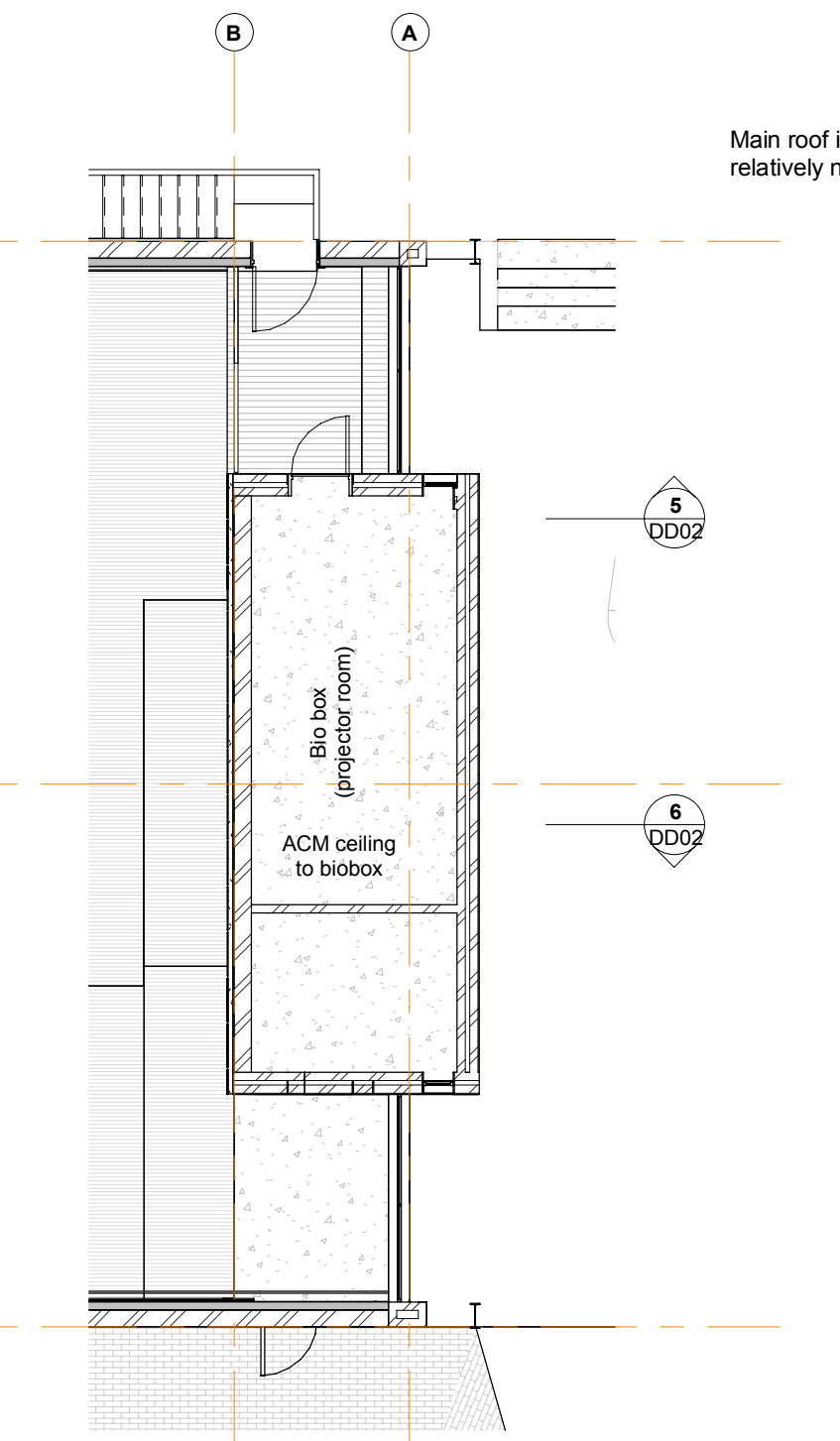
Check all dimensions on site prior to construction.

Mingenew Hall Design Safety Report

	Consequence (If it did occur, how severe could it be)					Consequence		Suggested Action by Designer
Probability / Likelihood of event occurring	1 Insignificant	2 Minor	3 Severe	4 Major	5 Extreme			
Expected to Occur	6	7	8	9	10			2 to 4 - Design to Industry accepted standards - eliminate/minimise risks where possible. Others to ensure adequate control measures are taken. 5 to 6 - Consider redesign. Ensure adequate notes on drawings/specs to alert others. Others to ensure adequate control measures are taken. 7 to 8 - Encourage redesign. Nominate a suitable Control Method Required (e.g. barricading). Others to prepare Work Method Statement (WMS). Monitoring required by others. 9-10 - Aggressively encourage redesign. Ensure adequate notes on drawings/specs and communicate to client and Principal Contractor. Detailed Work Plans, Work Method Statements (WMS). Permit to start, Monitoring, Training etc. required by others.
Will Probably Occur	5	6	7	8	9			
Should Occur at Some Time	4	5	6	7	8			
Could Occur at Some Time	3	4	5	6	7			
Only Occur in Exceptional Circumstance	2	3	4	5	6			
						Risk Calculator = Probability + Consequence Minor Risk <input type="checkbox"/> Major Risk <input type="checkbox"/> Moderate Risk <input type="checkbox"/> Extreme Risk <input type="checkbox"/>		
WHS Safe Design Report								
The following is a written report on design risks specific to design decisions made by Studio Mango. The report includes a systematic risk management process.								
Life Cycle	Identification of Hazards & their Foreseeable Design Related Risks			Risk Assessment	Steps to Minimise or Eliminate Risk		Residual Risks and Steps Undertaken to Manage Risk	
• Construction • After completion • During maintenance • Demolition • Disposal & recycling	• Identify risks			• Minor • Moderate • Major • Extreme	• Substitute the design with a safer design • Modify the design • Isolate the hazard • Introduce management controls and training of safe use practices • Introduce controls for use of personal protective equipment)		• Use personal protective equipment • Provide signage for end users • Advise manufacturers, suppliers and builders to improve designs in the future • Report to clients to inform them of their obligations as duty holders to monitor and review risks	
Mingenew Hall Renewal 2024 Specific Safety Risks								
Demolition	Asbestos Containing Materials While ACM are non friable, exposure could occur during demolition			Major	Remove all ACM prior to construction by Class A or B licensed contractor		Contractor to work under an approved WPH&S Asbestos Removal Plan	
Demolition	Brick wall collapse Unstable brick walls could collapse during demolition			Major	Builders and subcontractors WPH&S Consider temporary propping during demolition			
Construction / maintenance	Tight spaces Subfloor access may be very tight at top end and ventilation could be poor			Severe	We have designed in an easy access route to the high end of the sub floor, the removal of some floor boards for access from above during construction for new plumbing, and also propose additional ventilation and possibly deepening of the crawl space if required.		Sub floor access should always be done in teams and monitor ventilation levels.	
Construction	Contaminated soils			Minor	Sub floor soil may be contaminated with 1958 termite treatment. Test before disposal.			
Construction	Working at heights Roof is 6+m above ground, windows and new linings are high, as is ceiling works.			Major	Builders and subcontractors WPH&S systems Scaffolding will be required for external works from brick wall demolition through repainting Internally use of mobile work platforms			
Construction	Facade portal frame collapse during repair			Major	Ensure portal frame is securely propped and tied back to building			
Construction & Maintenance	Falls through ceiling			Major	Install permanent crawl route through roof space, with additional moveable crawl boards & signaer at roof space entry. Pre-install conduit trays to minimise future upgrade difficulties. Ceiling has additional strength for wind loadings.		Will be covered by Council's WPH&S systems	
Maintenance	Working at heights			Major	Install roof / awning safe access points and fall arrest system. External path facilitates future mobile work platform access		Will be covered by Council's WPH&S systems	



1 Existing Hall Floor Level
1:100



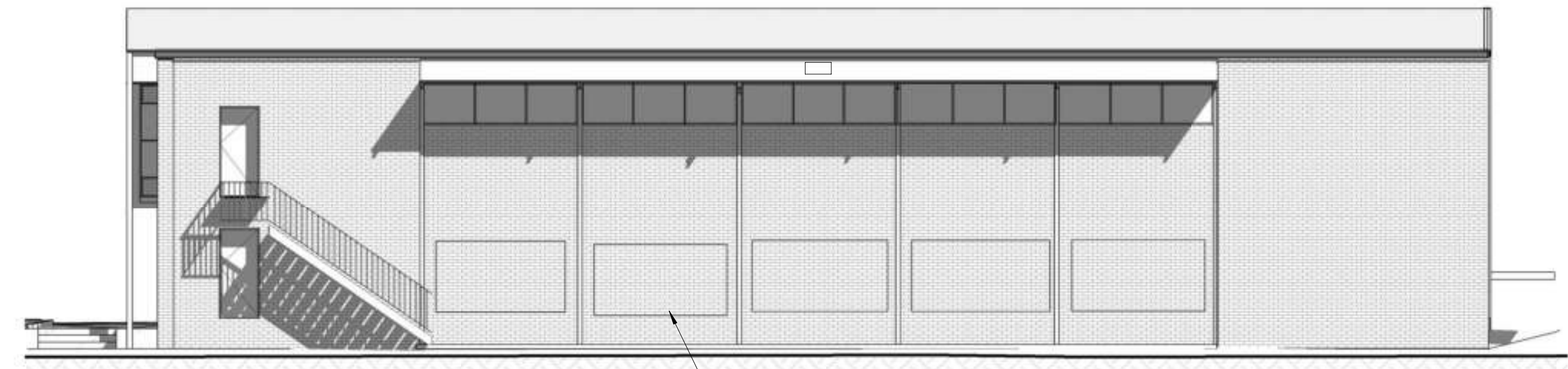
2 Existing Mezzanine Level
1:100



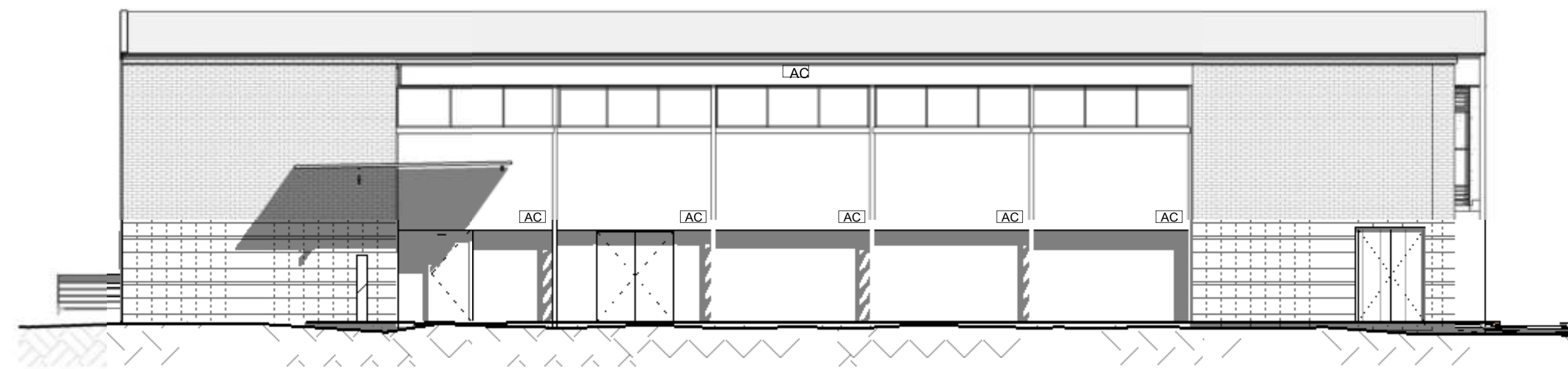
3 Existing Roof Plan
1:200



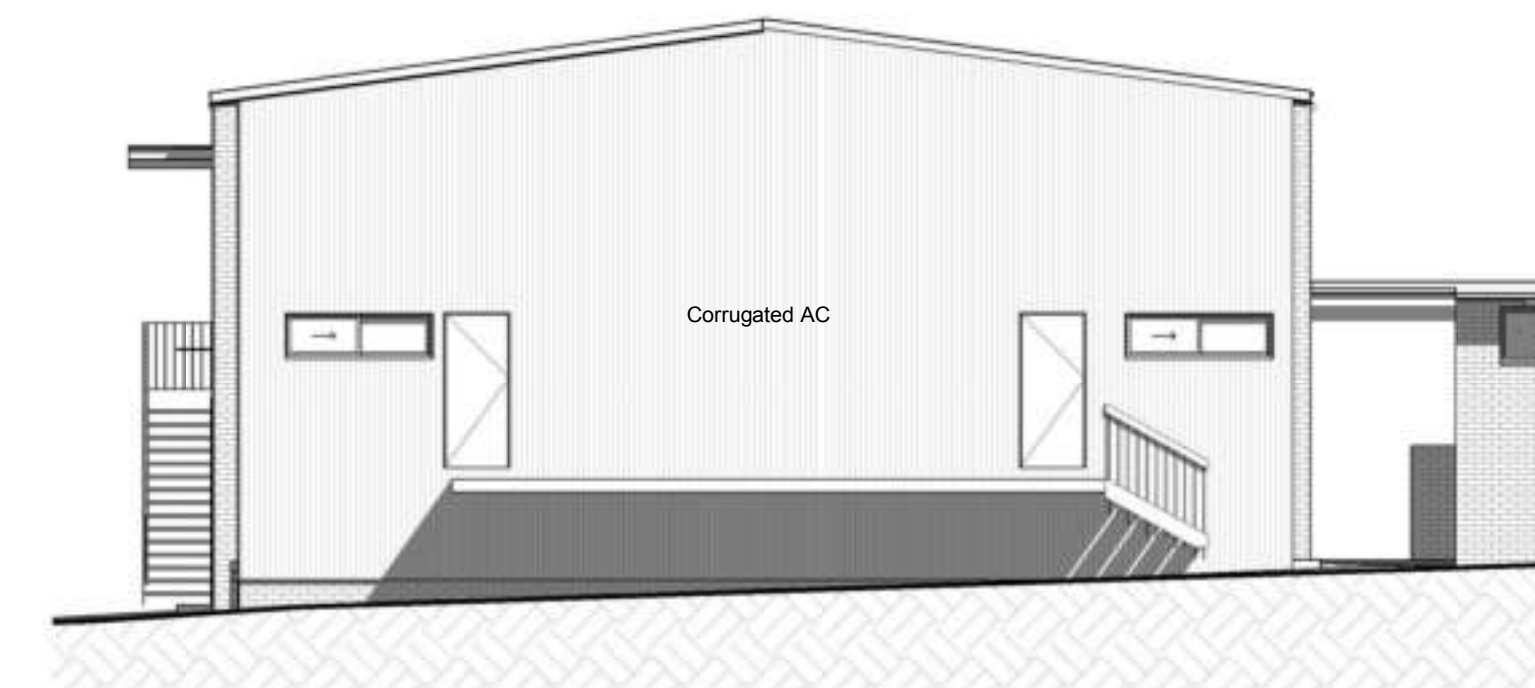
5 Existing East Elevation
1:100



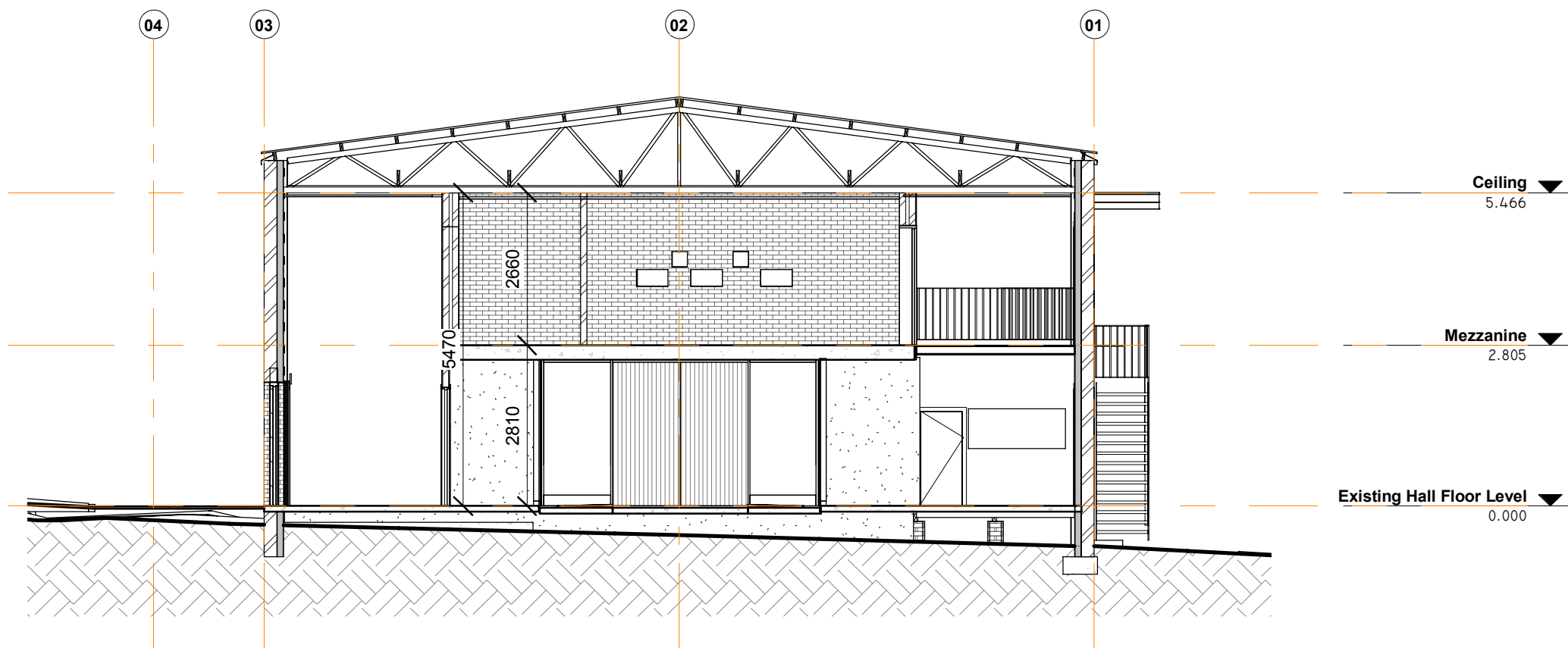
7 Existing North Elevation
1:100



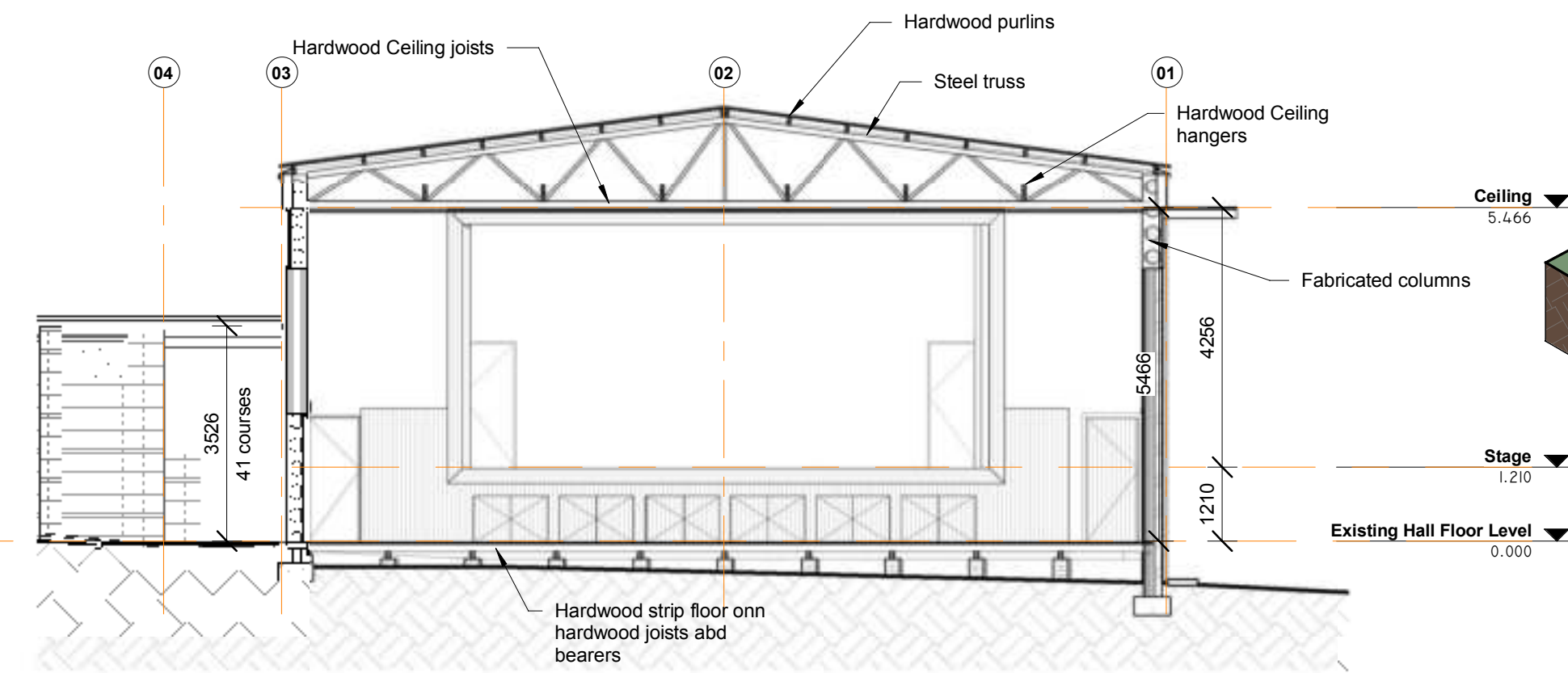
6 Existing South Elevation
1:100



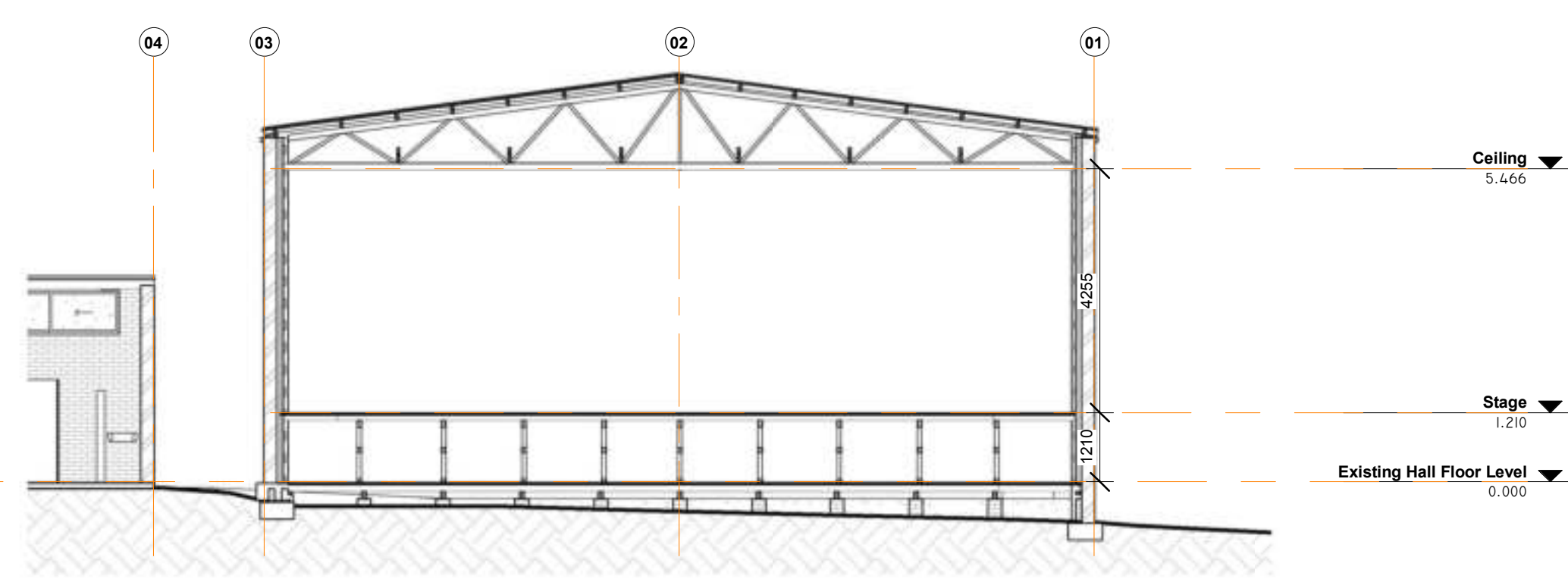
8 Existing West Elevation
1:100



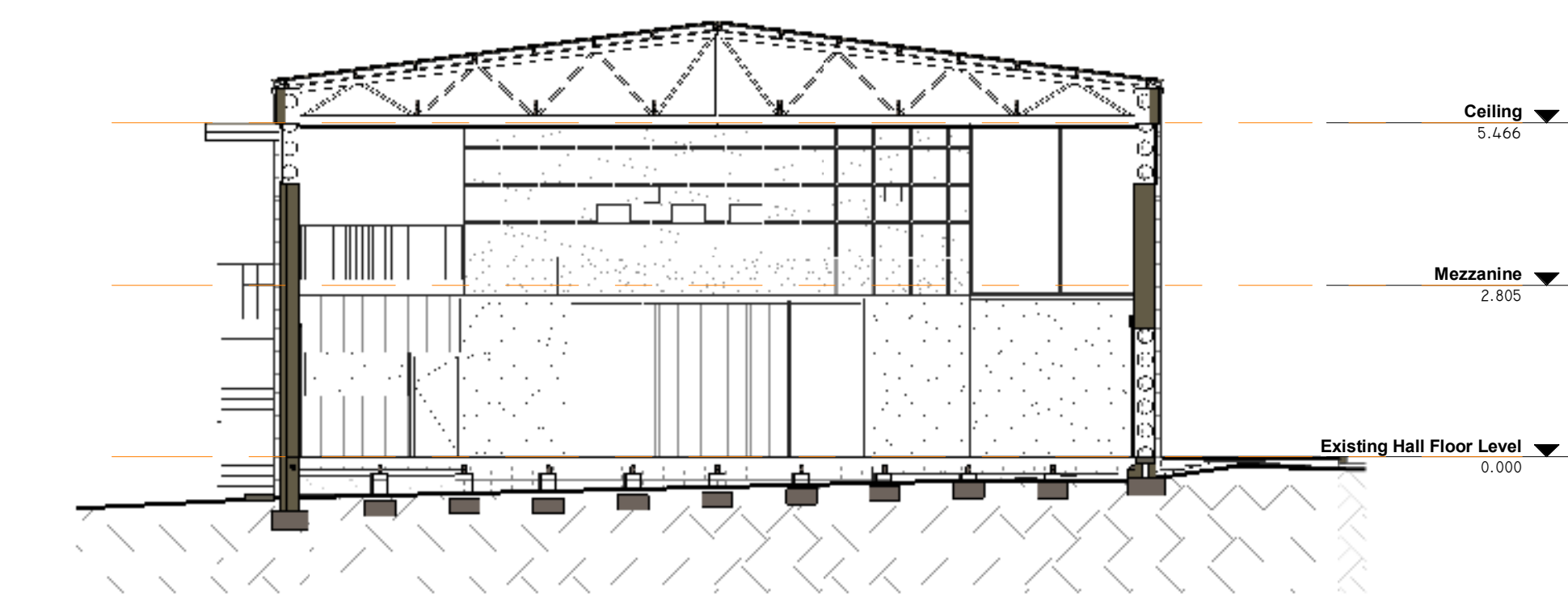
1 Existing Section through biobox
1:100



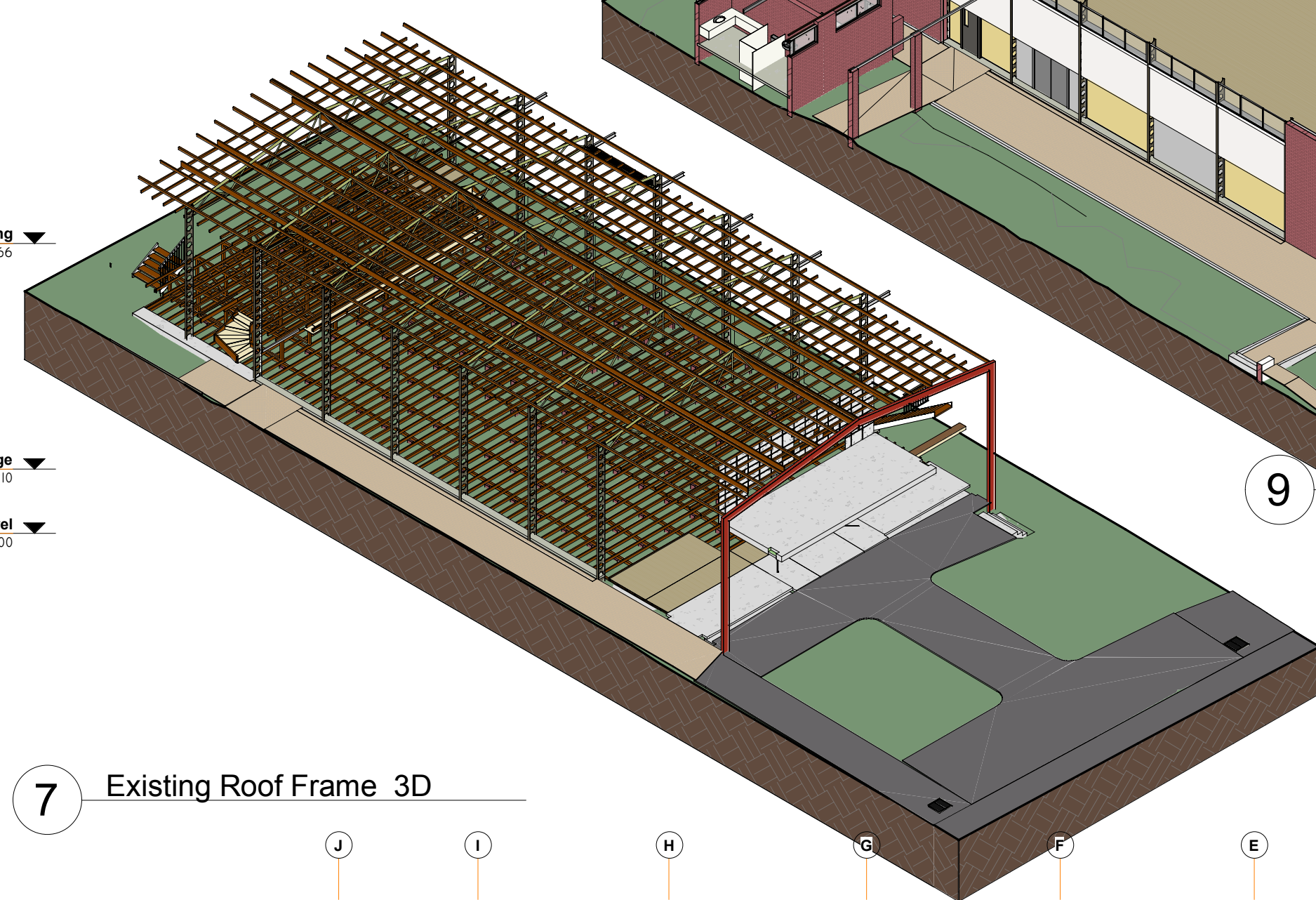
2 Existing Short Section Through Hall
1:100



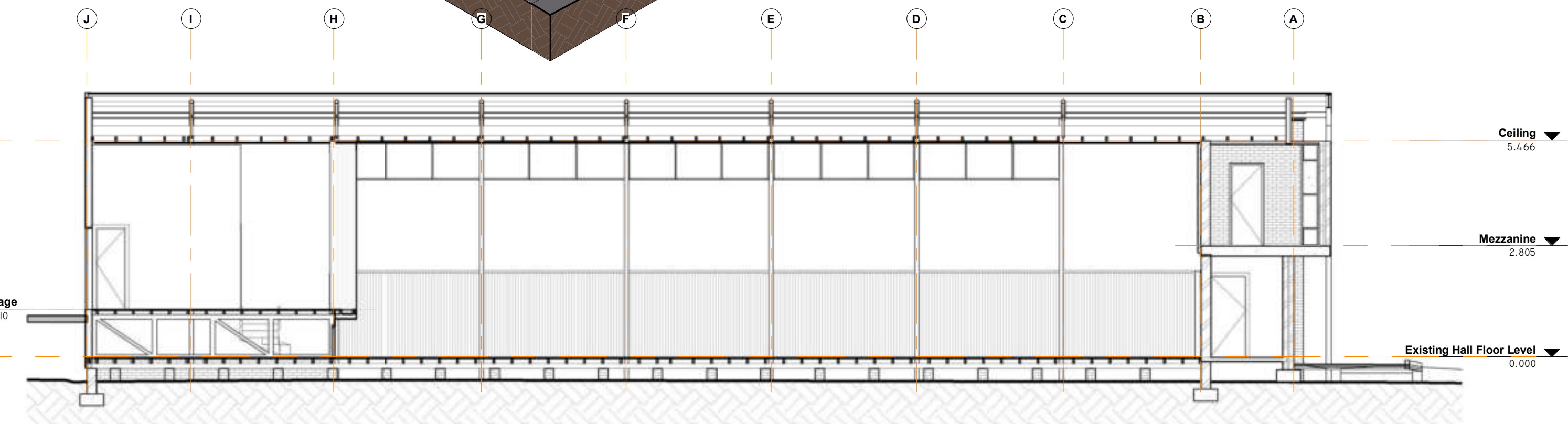
4 Short Section through Stage
1:100



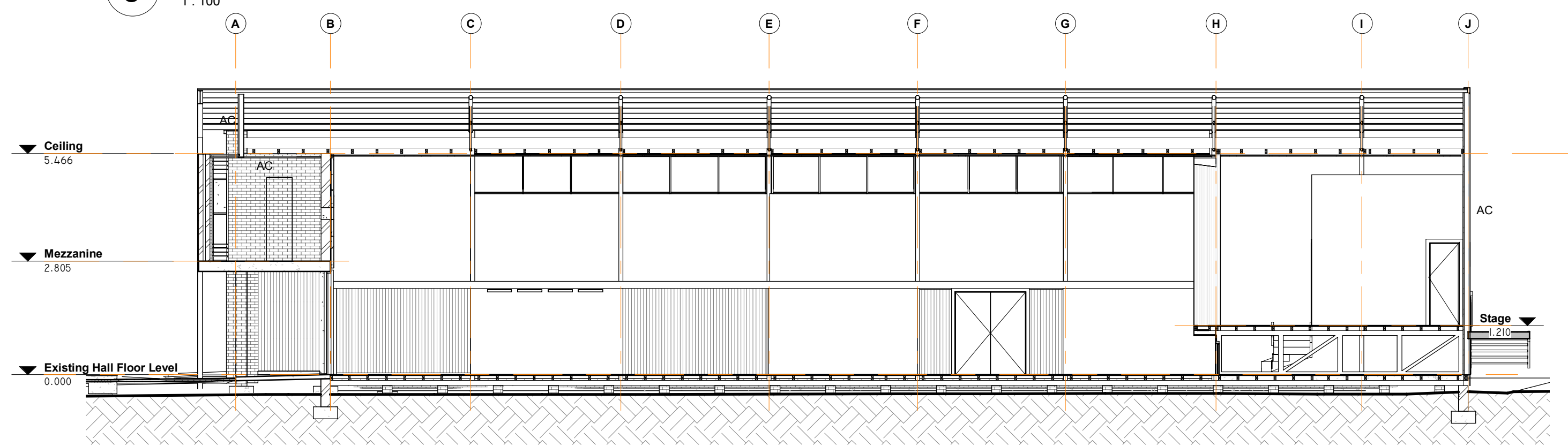
3 Existing Short Section looking to bio box
1:100



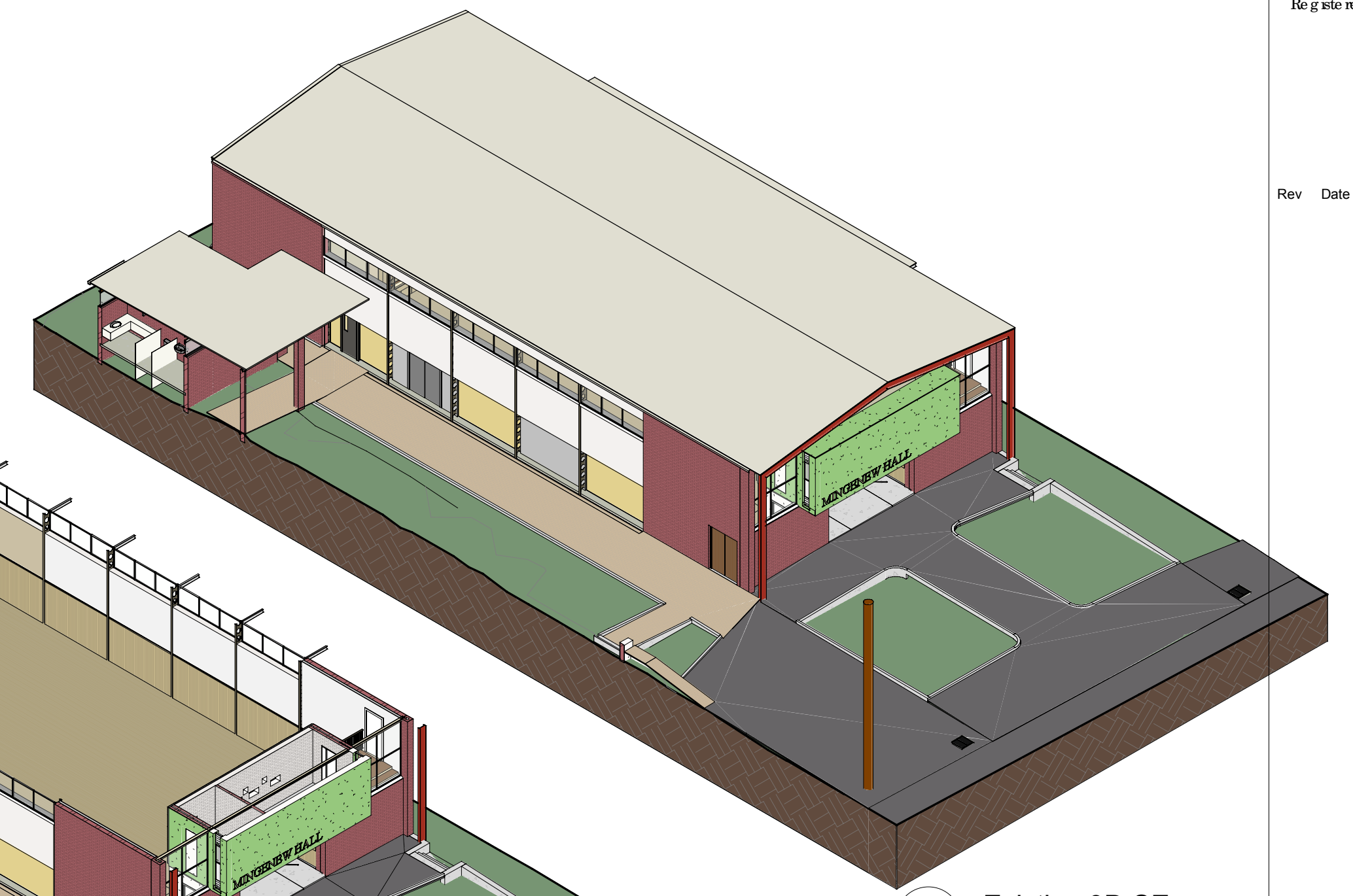
7 Existing Roof Frame 3D



5 Existing Long Section looking North
1:100



6 Existing Long Section looking South
1:100



8 Existing 3D SE

9 3D existing no roof SE

not a controlled issue until checked & approved

Copyright Studio Mango

At Original

200mm

150

100

50

0

RW 1 Asbestos Removal

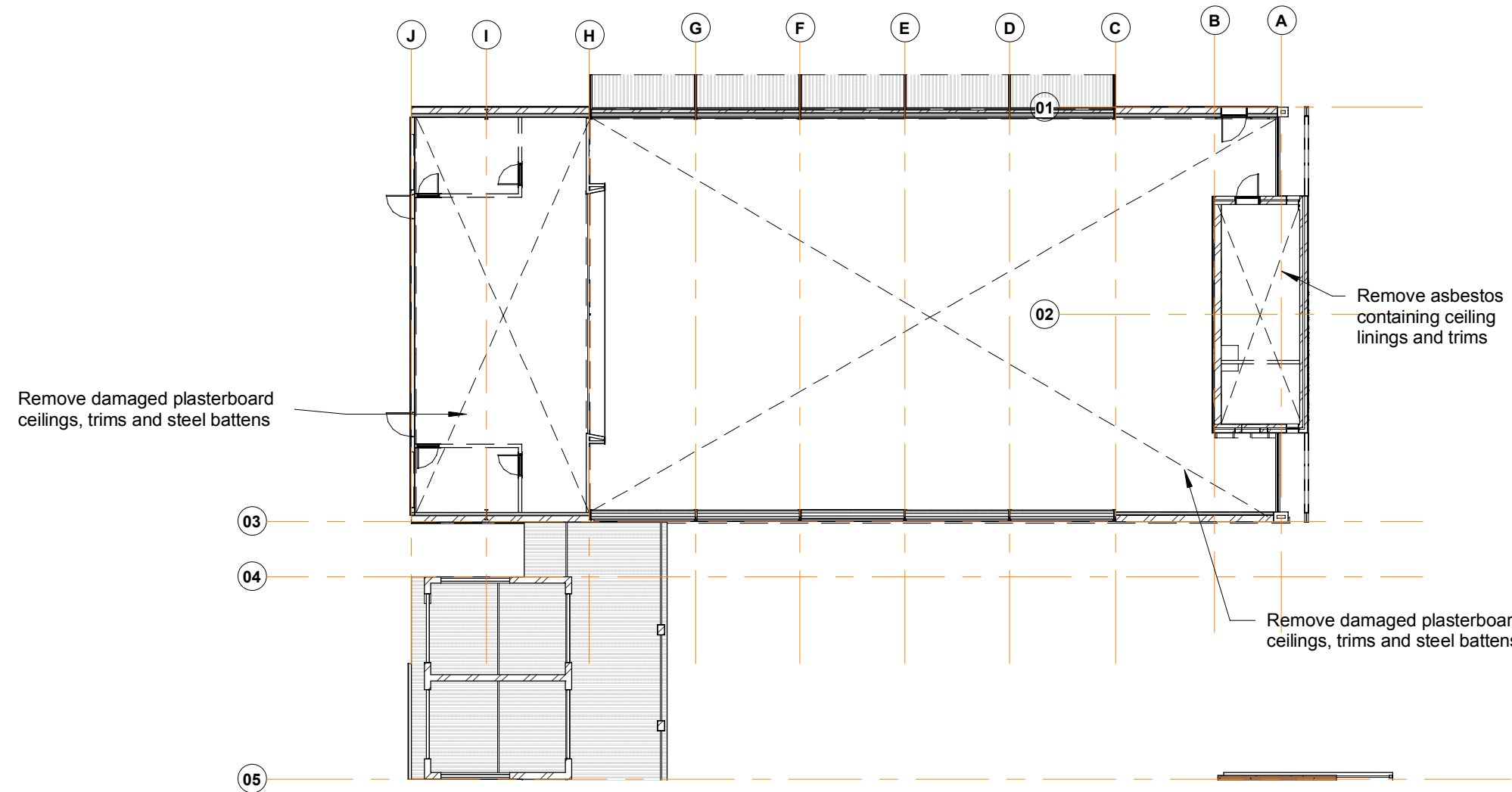
Mingenew Hall has Class B (non friable) Asbestos Containing Materials. Refer to Site Inspection for Asbestos Containing Materials, dated 11/01/2016 by LGIS and Laboratory Report 16-00393 dated 11/01/2016 by ARL. Licensed contractor to remove all ACM prior to construction under an approved Asbestos Removal Plan.

RW 1 Demolition

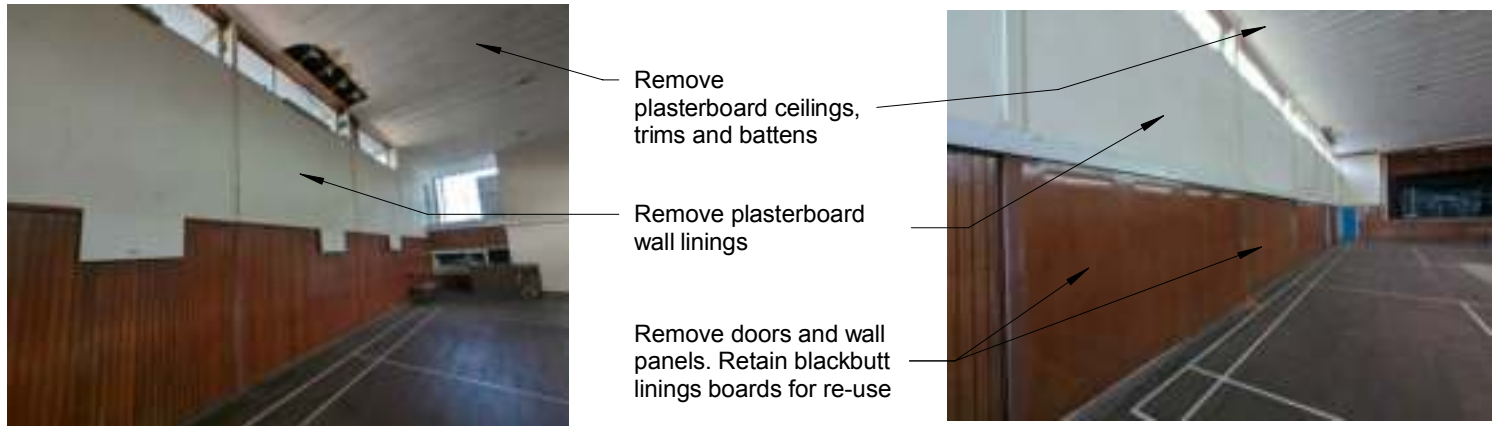
Demolish to the extent shown on these drawings or required for the proposed works. Remove linings and fixings and leave framing and substrates neat, clean and ready for the next trade. Cut off services and make safe. Remove electrical and plumbing fixtures. Generally retain good timber for re-use such as framing, linings, floor boards

RW 1 Salvage and re-use

Materials salvaged from the Hall renovation can be re-used on site, for example making acoustic panels or a new bar out of the removed hardwood floor boards.

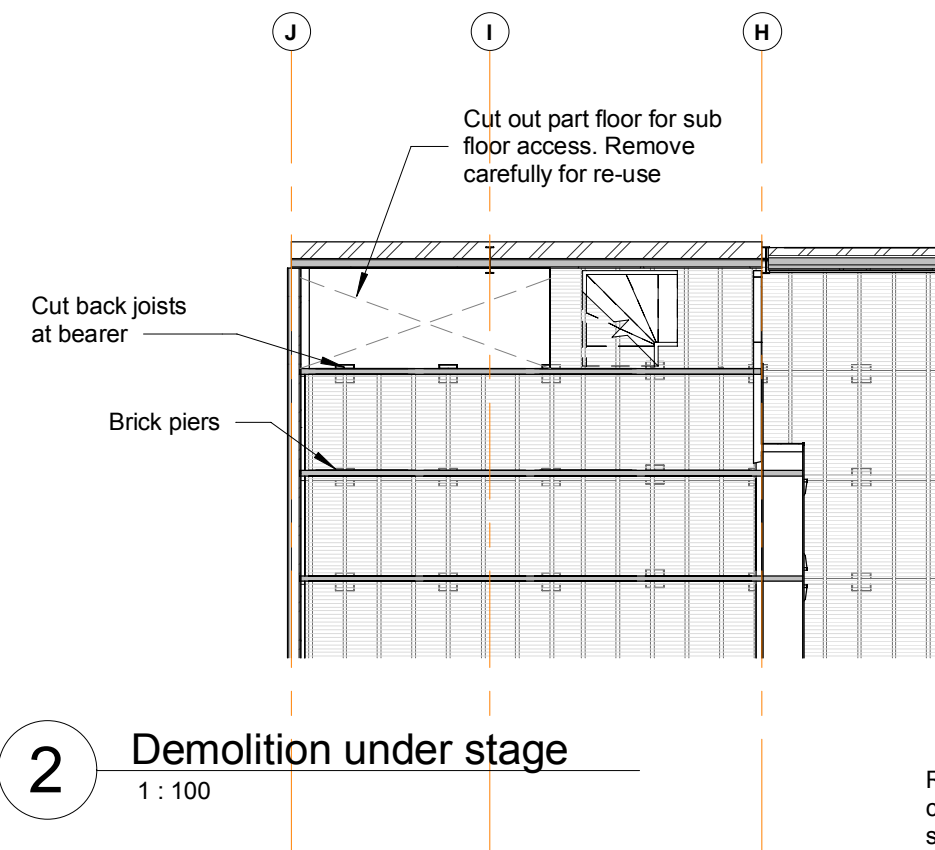


4 Existing Ceiling Demolition
1 : 200



RW 1 Subfloor access

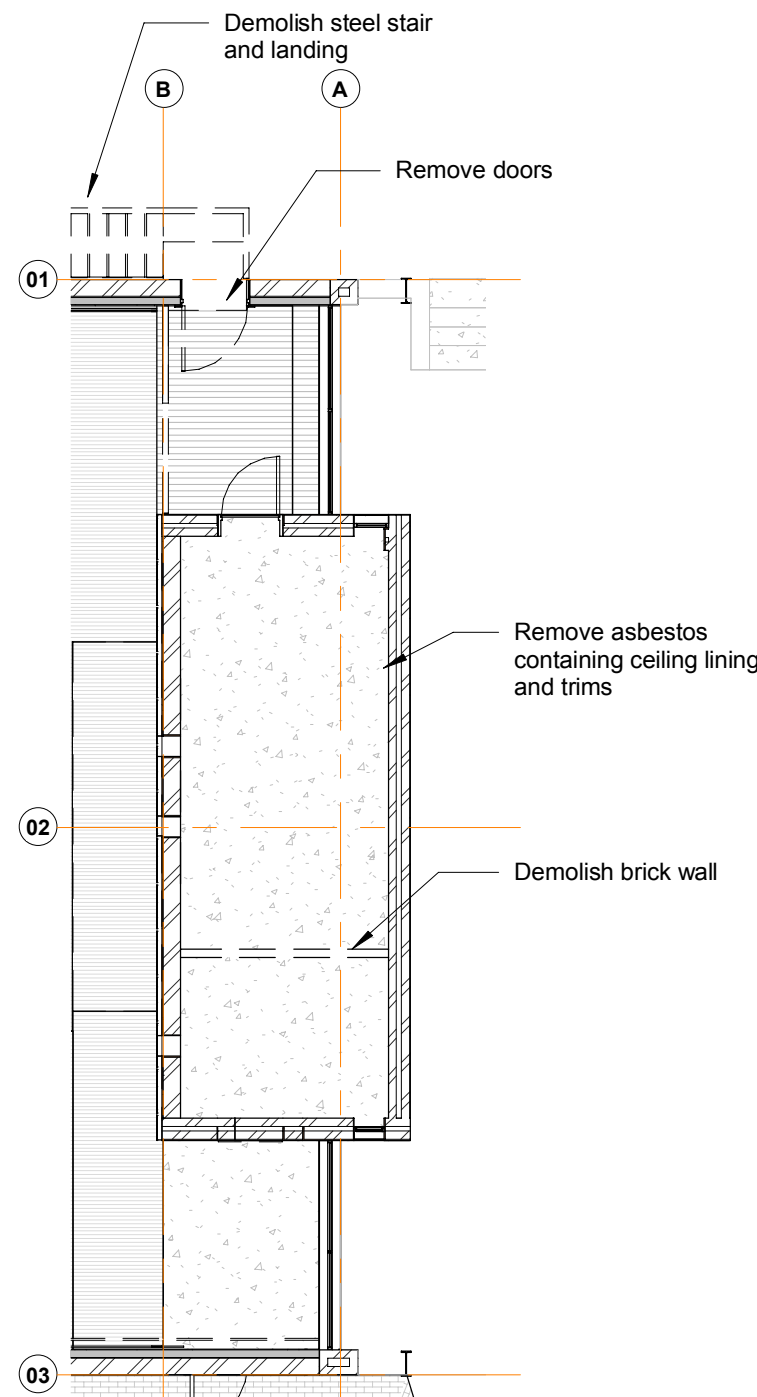
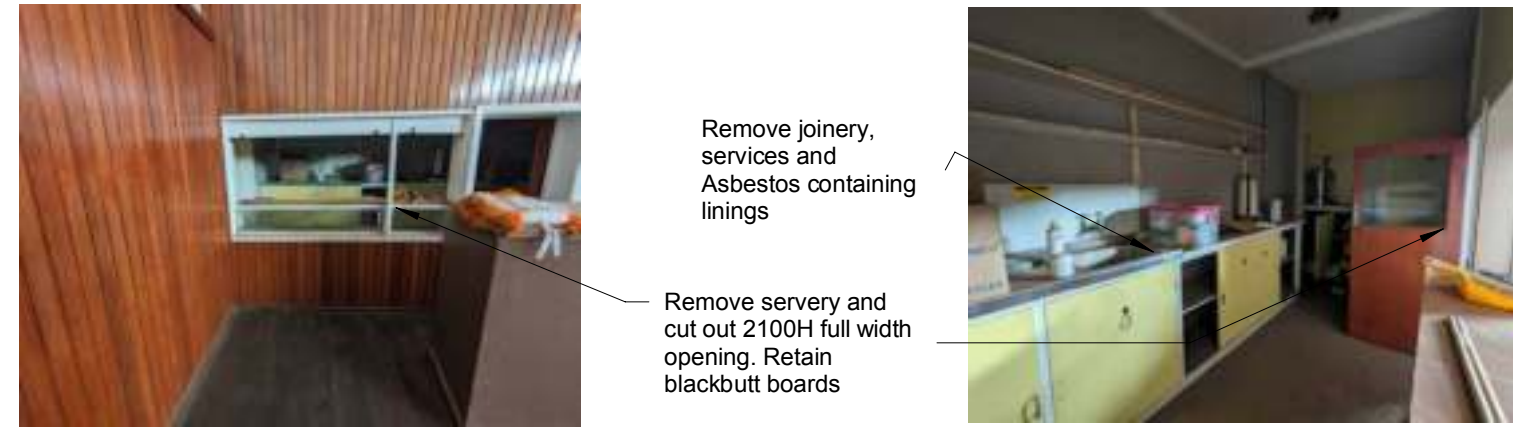
Cut a new access door through rear wall to enter under stage. Cut out part existing floor to enable access to crawl space. Undertake a thorough inspection of sub floor timber condition, ventilation and clearances.



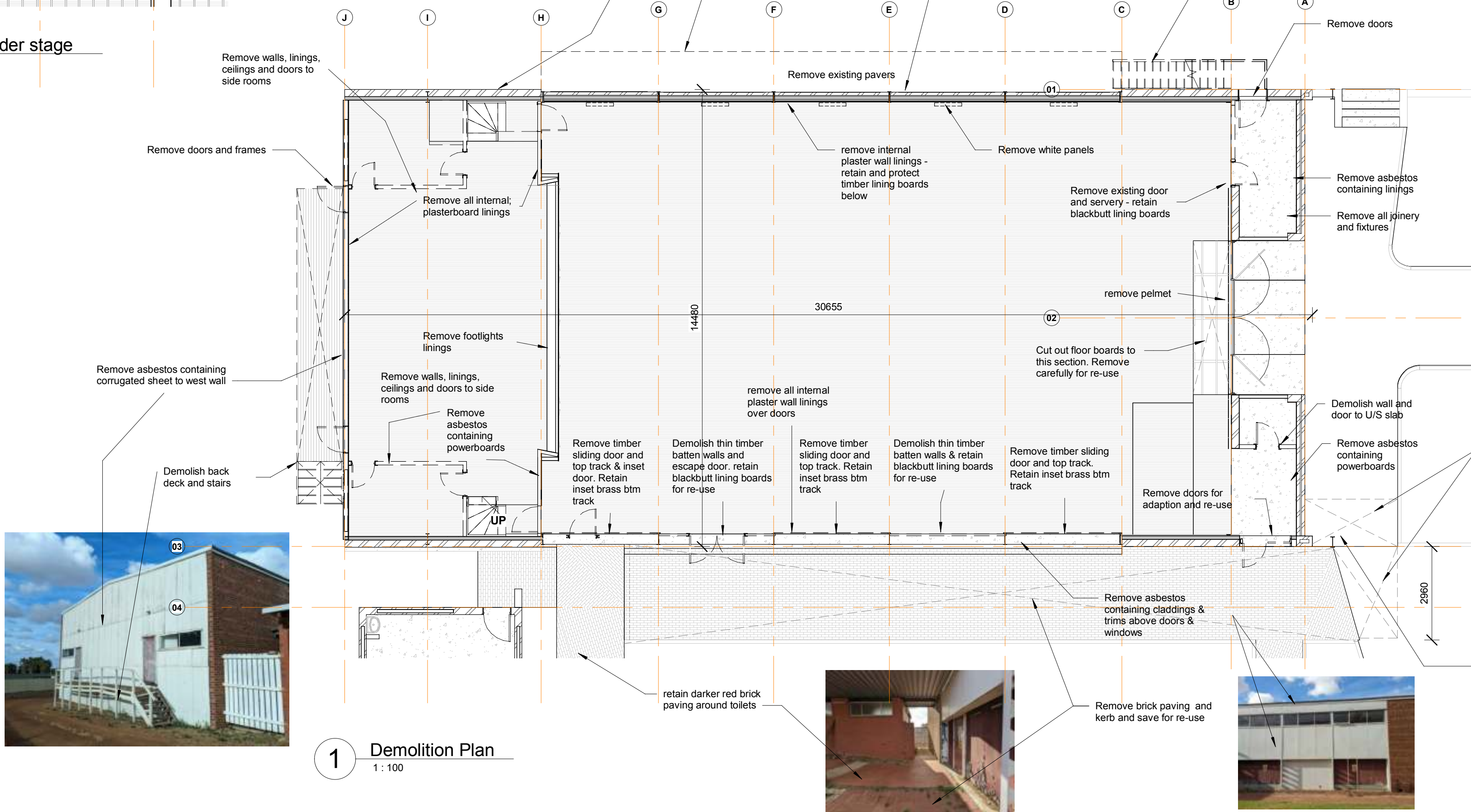
2 Demolition under stage
1 : 100



Demolish NW brick wall carefully for brick re-use and safety. Prop existing floor boards and internal timber wall frame.



3 Demolition Bio Box
1 : 100



1 Demolition Plan
1 : 100

Revisions		
Rev	Date	Description

Job
**Mingenew Hall
Restoration 2024**

Client
Shire of Mingenew

Address
**19 Victoria Road
Mingenew**

Drawing Title
Demolition Plan

Issue
Developed Design

Job No.
23-MAH

Date	Chk	Appr.
3/07/2024	jm	
11:49:03 AM		

Scale	Dwg No.	Rev
As indicated	DD03	-

Lay a 1200 wide paved concrete apron around the building.
Re-lay SE section of pavers after new footing and drainage installed - ensure free drainage away from Hall.
Provide new stormwater pit to SE and outfalls for new roof drainage.

Provide new exit signage, emergency exit lighting and smoke detection and alarms to BCA.
Provide new fire extinguishers to BCA

SW wall - repair cracking with proprietary system
North painted wall - repaint around murals.
NW wall demolish and rebuild on new footing with existing bricks
All walls - check brick ties once linings removed
All walls - re-point brickwork joints as required - mostly low along walls. Analyse mortar and match, probably using local sand
All walls - clean out crumbling vent bricks and provide new galv steel screens

Demolish and rebuild masonry wall using existing bricks. New footing to engineer's detail.(Structerre report suggests new 300mm wide footing down and onto the bedrock below. Drill and epoxy grout 4 equally spaced 800mm long N12 reinforcing bars, 400mm into the existing footing.

Treat any rust on the steel portal frame, waterproof, and encase base in new footing above ground level.
Insulate and re-line internally.

Reclad with vertical corrugated colorbond steel sheeting on 70x35 H2 softwood battens over foil.
Insulate with R2.5 batts.
Straighten and trim out existing frame as required for sheet layouts.

Refurbish existing hardwood floors to stage and hall. Treat squeaking boards using improved sub floor access to fix from below where possible. Replace minor splintered patches with recovered floor boards. Matching filler to other damage Sand back and re-seal with a commercial use grade satin finish.

Badminton Court line marking in a low contrast colour (egh maroon) by specialist applicator.

Repair understage doors as required
Fill in footlights fit with matching reclaimed
T&G.
Supply and install new stage curtains.
Sand back and refinish timber frame to
proscenium arch.
Build new full height back of stage storeroom
stud walls and line with 13mm PB.
Paint perimeter walls black.

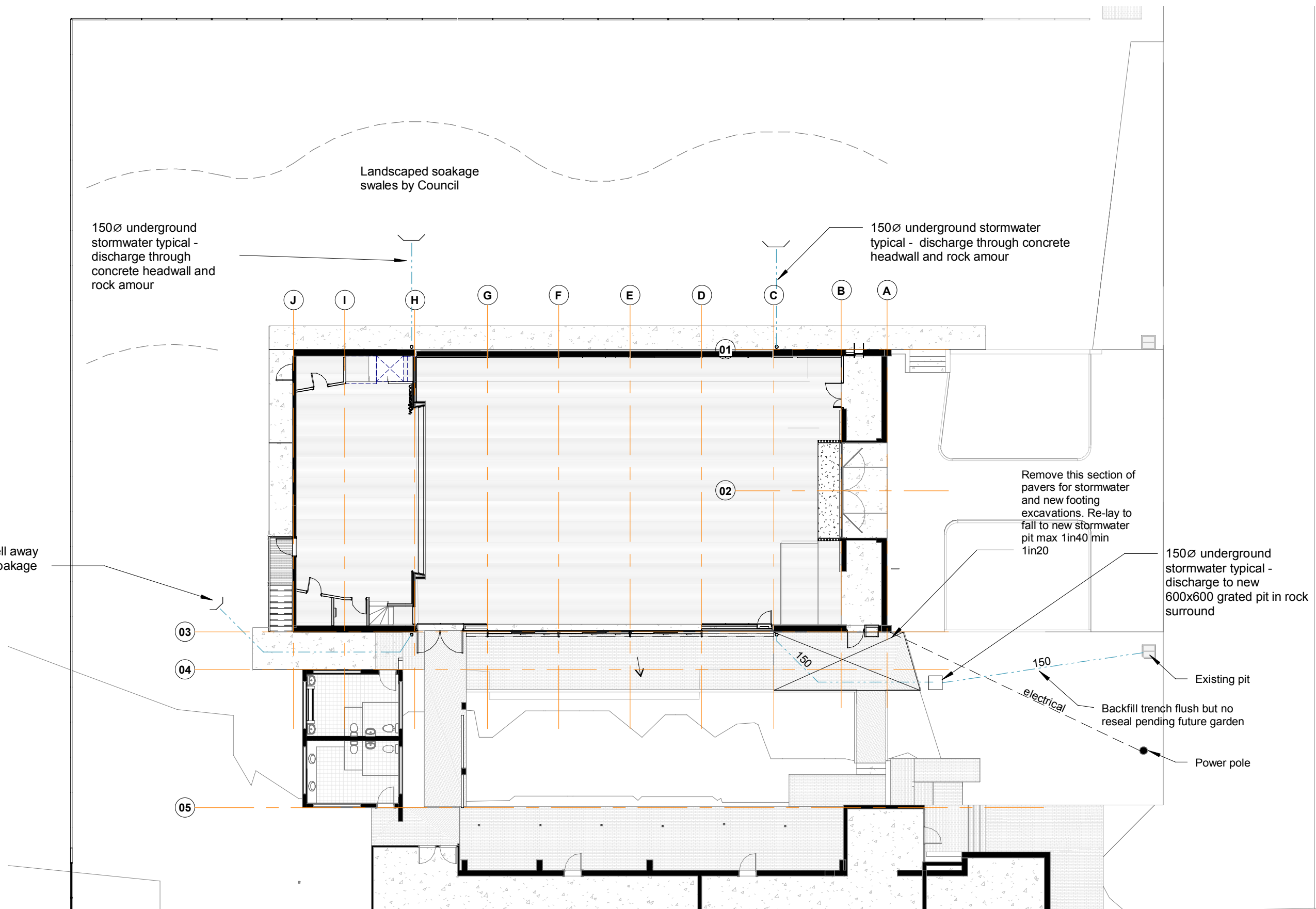
Install a new emergency exit from the stage via a new solid core door and escape hardware onto a landing and stairs.

Repair and stabilise by proprietary crack stitching sub contractor.
Check and fix existing brick ties, straighten & plumb wall as required .

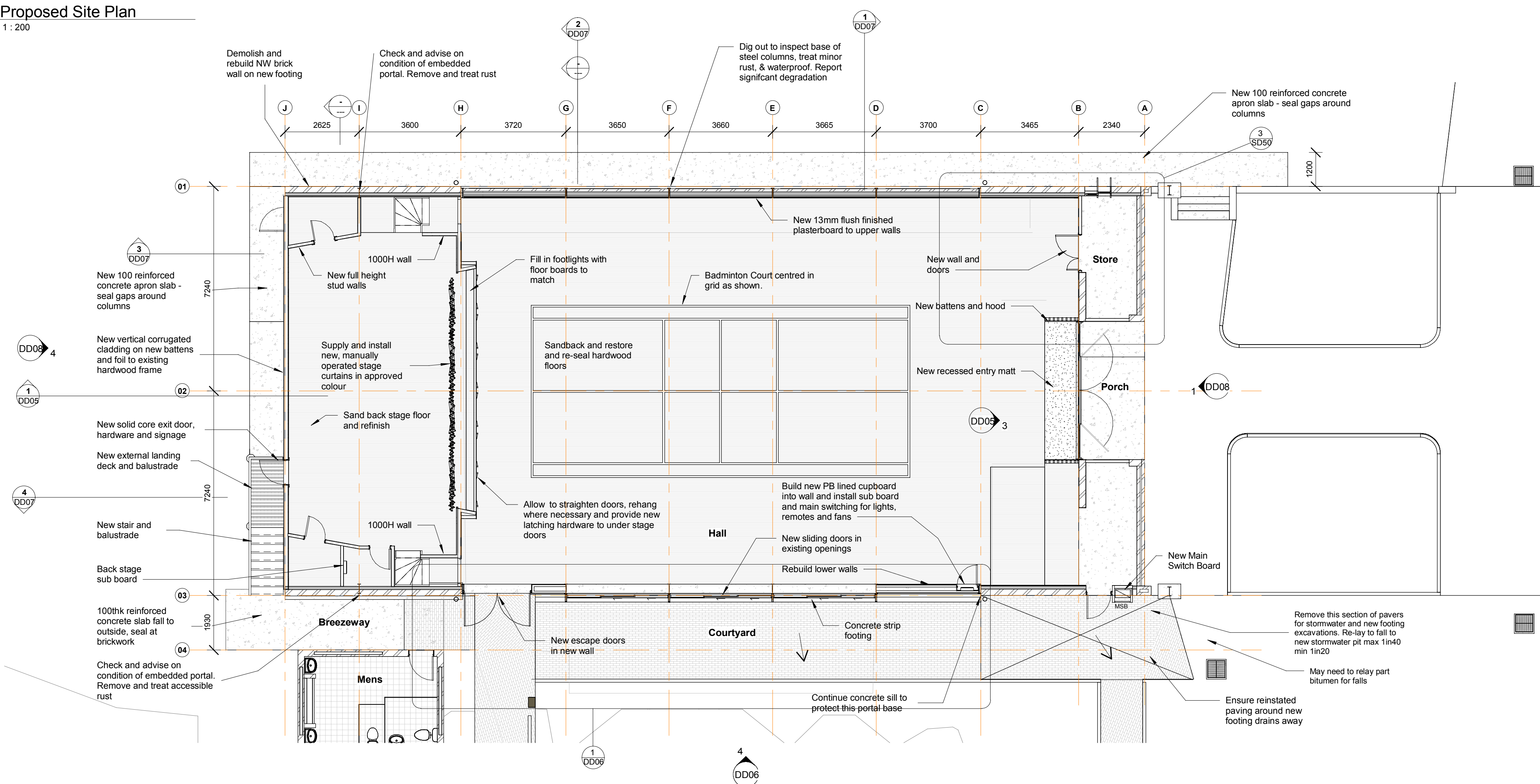
New painted 13mm plasterboard, and 6& 9mm FC linings to replace existing plasterboard as shown. Allow to straighten walls and nog out to suit new linings. Clean and sand back blackbutt linings and refinish. New/ replacement panels where shown.

R2.5 insulation batts to walls typical

Build in new electrical sub board to cupboard in wall



2 Proposed Site Plan

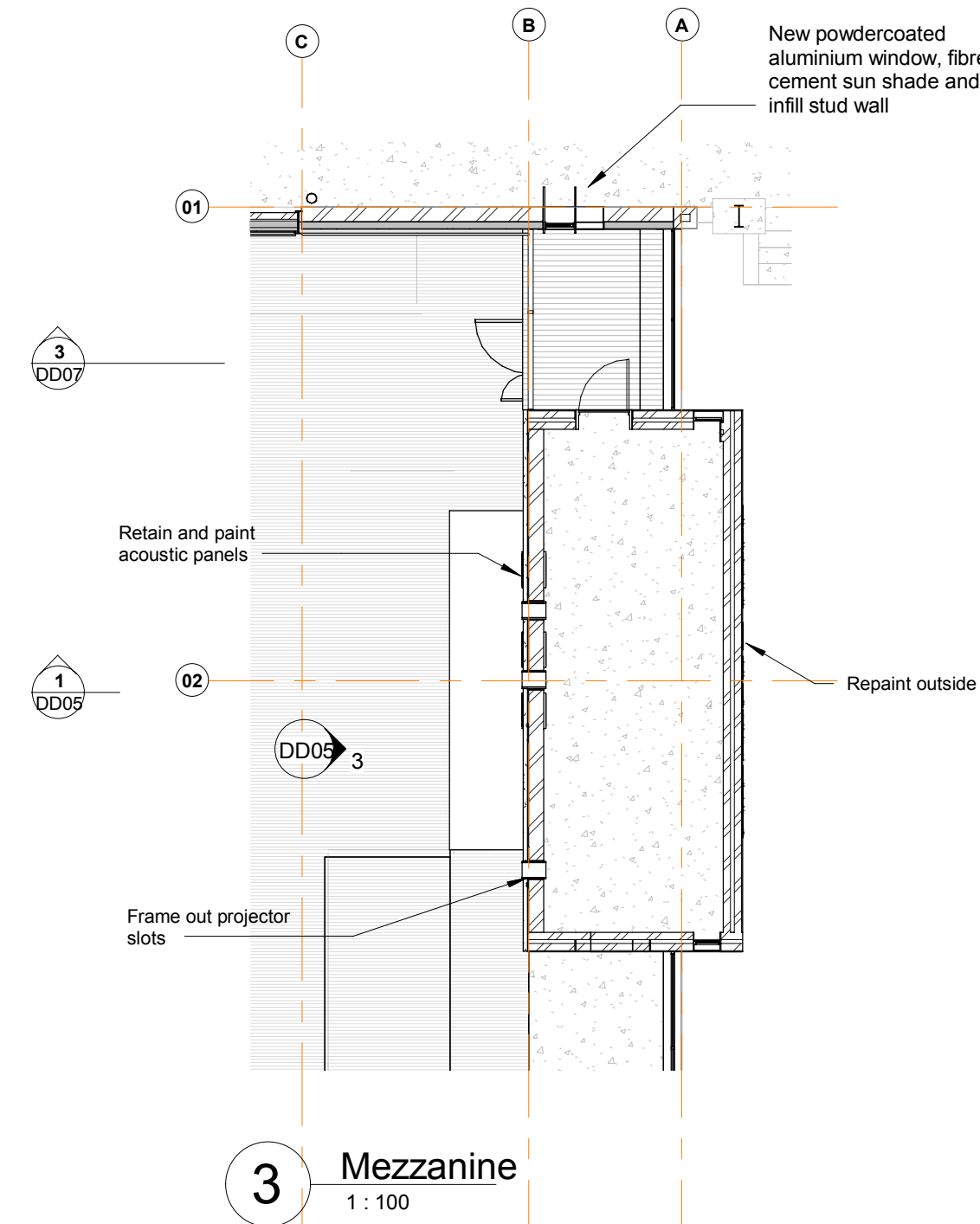


1 Proposed Hall Level Key Plan

New double escape doors in a new double stud wallwall. New R2.5 insulated wall retains internal blackbutt lining with new external cladding flashing over edge of existing threshold slab.

Supply and install new powdercoated aluminium sliding glass doors to the outside of the existing portal frames, on a new set down strip footing. This allows a proprietary door sill to provide a set down to outside and certified weatherproofing. Quality residential or commercial standard eg AWS Magnum 618 series.

Frame out new doors with 300 deep fins and head. Rebuild walls either side and clad



3 Mezzanine
1 : 100

Remove north doors both levels and fill in with new aluminium framed windows, fibre cement sunshade and stud infill wall. Flash over sills, and insulate R2.5

- Paint all around the outside of the brick box to emphasise its volume
- Paint internal brickwork
- Replace ceilings and insulate
- Open up projection slots and frame

Revisions		
Rev	Date	Description

Job
Ming e new Ha ll
Re sto ra tio n 2024

Client
Shire of Mingenew

Address
19 Victoria Road
Mingeneu

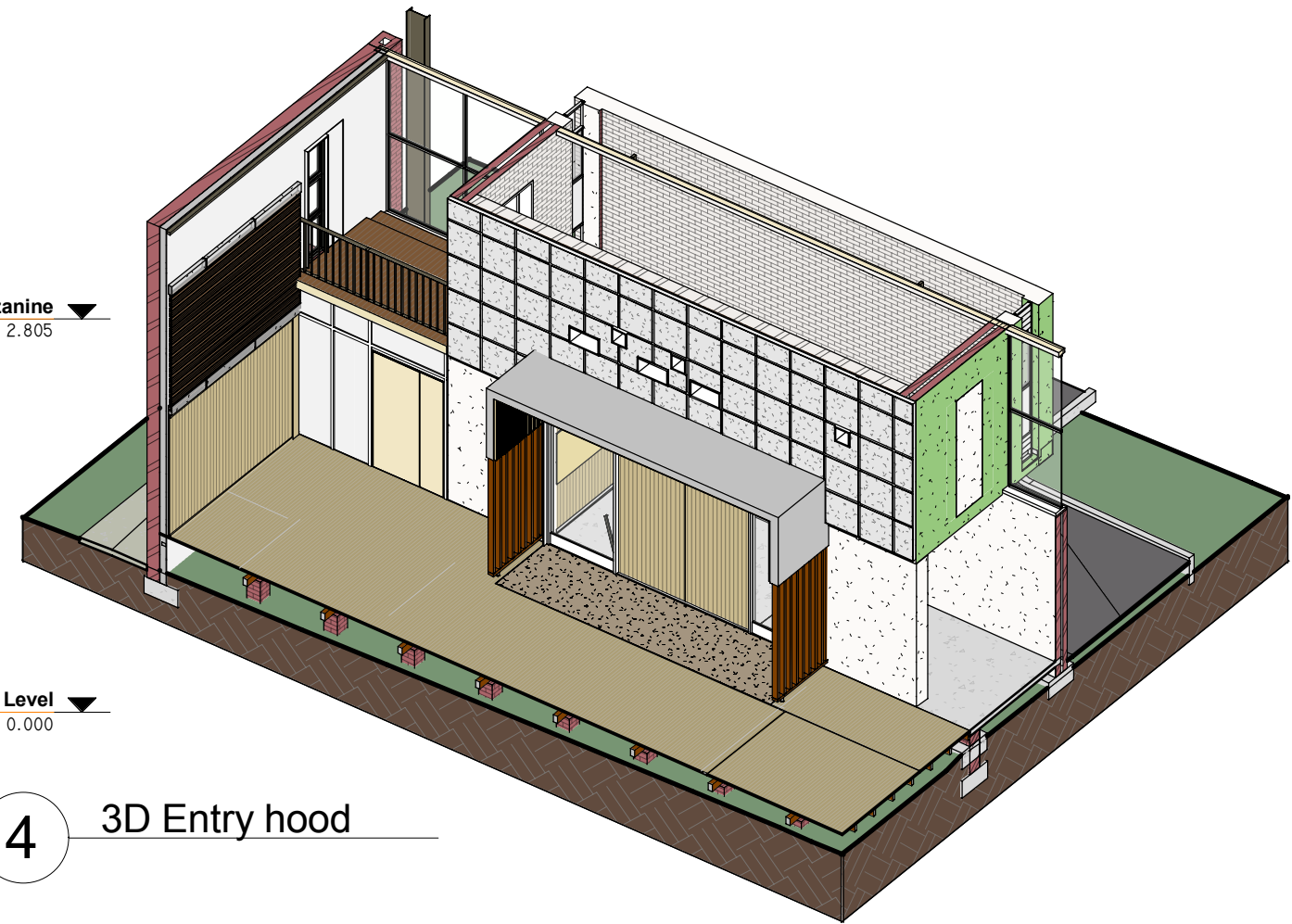
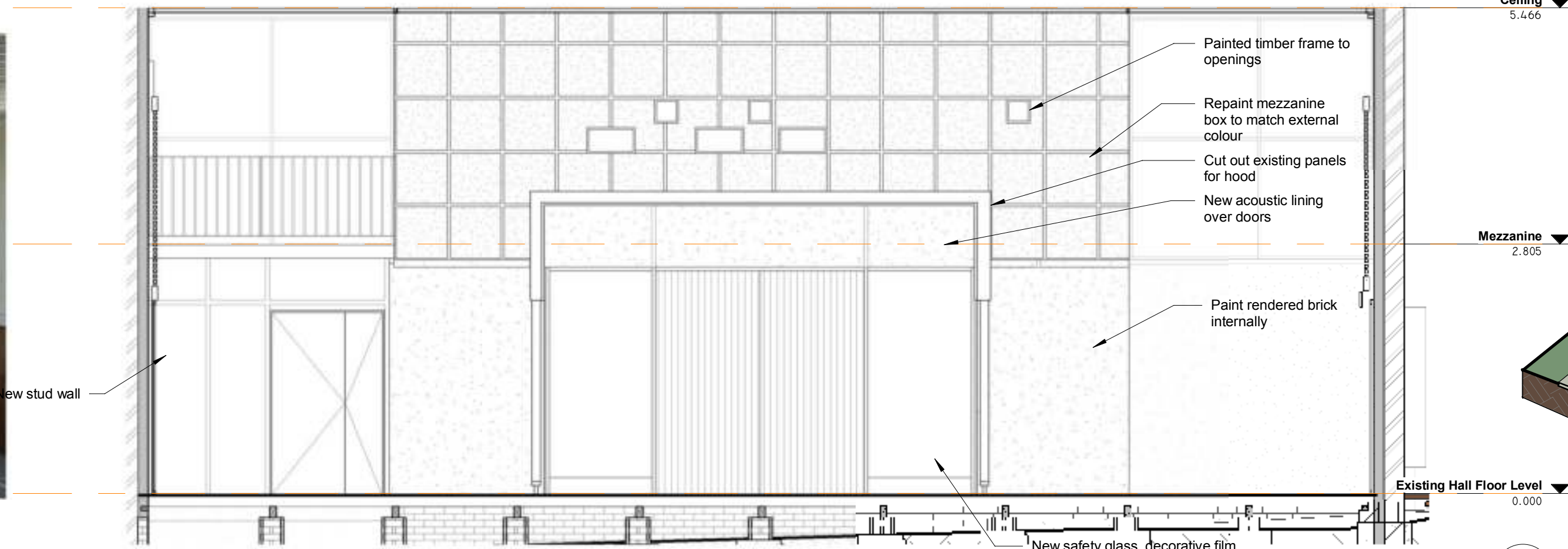
Drawing Title
RW1-Proposed Plan

Issue
Developed Design

Job No. **23-MAH**

Date	Chk	Appr.
3/07/2024 11:49:05 AM	jm	

Scale	Dwg No.	Rev
As indicated	DD04	-



Restore existing doors and provide new hardware, closers, hold open, and escape bars. Refinish timber.
Reglaze timber framed sidelights with new safety glass and repaint frames.
Full height translucent decorative film to inside of glass to future design.

Cut out part existing floor boards and replace with new proprietary entry mat system to control moisture and dirt ingress. Frame lobby with timber batten fins, and plywood hood over.

Select decorative brushbox plywood finish to top and outsides of hood with matching timber trims and edges

100 SHS welded frame bolted to brick walls

31x31 (ex brushbox lining boards) acoustic slats, backing cloth polyester insulation or similar

Line up with top of wall linings

100x50Hardwood battens

Custom made aluminum perimeter framed entry mat set into recess

Steel bracket & noggin for slat wall

Drop floor flush to top of joists, frame for 19mm ply substrate

1215

1225

2180

2550

Ceiling 5.466

Paint outside

Paint door and walls

100 SHS welded frame bolted to brick walls

Mezzanine 2.805

Paint soffit to match new front colour

New ceiling mounted LED entry light

Existing Hall Floor Level 0.000

Adapt existing double doors to single door and new MSB enclosure

South end:
Cut out rusted base/s.
Extend into new footing with steel plate welded to existing to engineer's detail.
Treat rust and waterproof base to 50mm above concrete casting (eg bitumen paint).
Cast new welded base into new mass concrete footing to engineer's detail to 600 above ground.

North end:
Dig out bitumen and earth around base, clean out repair rust, waterproof as above and encase in concrete to match south end.

Whole:
clean back poor paint, remove and treat rust, Repaint portal frame in a proprietary 3 coat steel protection system.

New ceilings are required throughout the Hall.
Clean ceiling space thoroughly after removal of
linings and remove dust, conduit, flues, wiring etc.
ready for a clean installation

RW 1 Insulation

Under purlins:
Aircell Insulbreak 55 to U/S purlins taped joints.
(Approx R2.3) Provide underbattens as required
to securely fix against internal wind pressure, and
gaps for secondary drainage to eave line.
On top of ceiling joists:
40mm Kooltherm foil face up, securely screwed
down and taped (approx R1.75)
Between joists / behind acoustic ceiling:
75mm polyester batts (R1.5)

New painted 13mm plasterboard, and 6& 9mm FC linings to replace existing plasterboard as shown. Allow to straighten walls and nog out to suit new linings. Clean and sand back blackbutt linings and refinish. New/ replacement panels where shown.

R2.5 insulation batts to walls typical

Build in new electrical sub board to cupboard in wall

Provide a provisional sum for applied wall and ceiling acoustic treatments including specialist advice.

Walls could be a mix of slats and fabric, or slotted plywood, to create a visually rich interior.



57 Draper Street, Cairns, Qld.

James Maude
Registered Architect WA00067

Revisions		
Rev	Date	Description

Ming new Hall
Restoration 2024

Shire of Mingenew

19 Victoria Road
Mingeneu

Drawing Title

Sections

Developed Design

Job No. _____

23-MAH

Date	Chk	Appr.
07/07/2024	jm	
1:49:15 AM		

Scale	Dwg No.	Rev
1 : 100	DD07	-

0 50 100 150 200mm

Copyright Studio Mango

At Original

of a controlled issue until Checked & Approved

RW 1 Front Portal Frame Repair and Repaint

South end:
Cut out rusted base/s.
Extend into new footing with steel plate welded to existing to engineer's detail.
Treat rust and waterproof base to 50mm above concrete casing (eg bitument paint).
Cast new welded base into new mass concrete footing to engineer's detail to 600 above ground.
North end:
Dig out bitumen and earth around base, clean and repair rust, waterproof as above and encase in concrete to match south end.
Whole:
Clean back poor paint, remove and treat rust.
Repaint portal frame in a proprietary 3 coat steel protection system.

RW 1 Front Entry Doors and Windows

Restore existing doors and provide new hardware, closers, hold open, and escape bars. Refinish timber.
Reglaze timber framed sidelights with new safety glass and repaint frames.
Full height translucent decorative film to inside of glass to future design.

RW 1 Steel framed windows refurbishment - upper eastern windows

Steel windows reglazed with safety glass. Restore frames as required and repaint by specialist subcontractor.

Provide further advice whether these windows need a structural upgrade - eg additional vertical and/or horizontal bars.

RW 1 - SW Brick wall

Repair and stabilise by proprietary crack stitching sub contractor.
Check and fix existing brick ties, straighten & plumb wall as required .

RW1 Brick walls generally

SW wall - repair cracking with proprietary system
North painted wall - repaint around murals.
NW wall demolish and rebuild on new footing with existing bricks
All walls - check brick ties once linings removed
All walls - re-point brickwork joints as required - mostly low along walls. Analyse mortar and match, probably using local sand
All walls - clean out crumbling vent bricks and provide new galv steel screens

RW 1 External FC claddings

Replace existing AC claddings with new painted fibre cement claddings
Exterior fibre cement walls can be installed on a batten over the portals to weather proof them, but should still express the vertical panels.
Insulate with batts, and foil + cavities.

RW1 Western Wall - corrugated colorbond

Reclad with vertical corrugated colorbond steel sheeting on 70x35 H2 softwood battens over foil.
Insulate with R2.5 batts.
Straighten and trim out existing frame as required for sheet layouts.

RW 1 Subfloor access

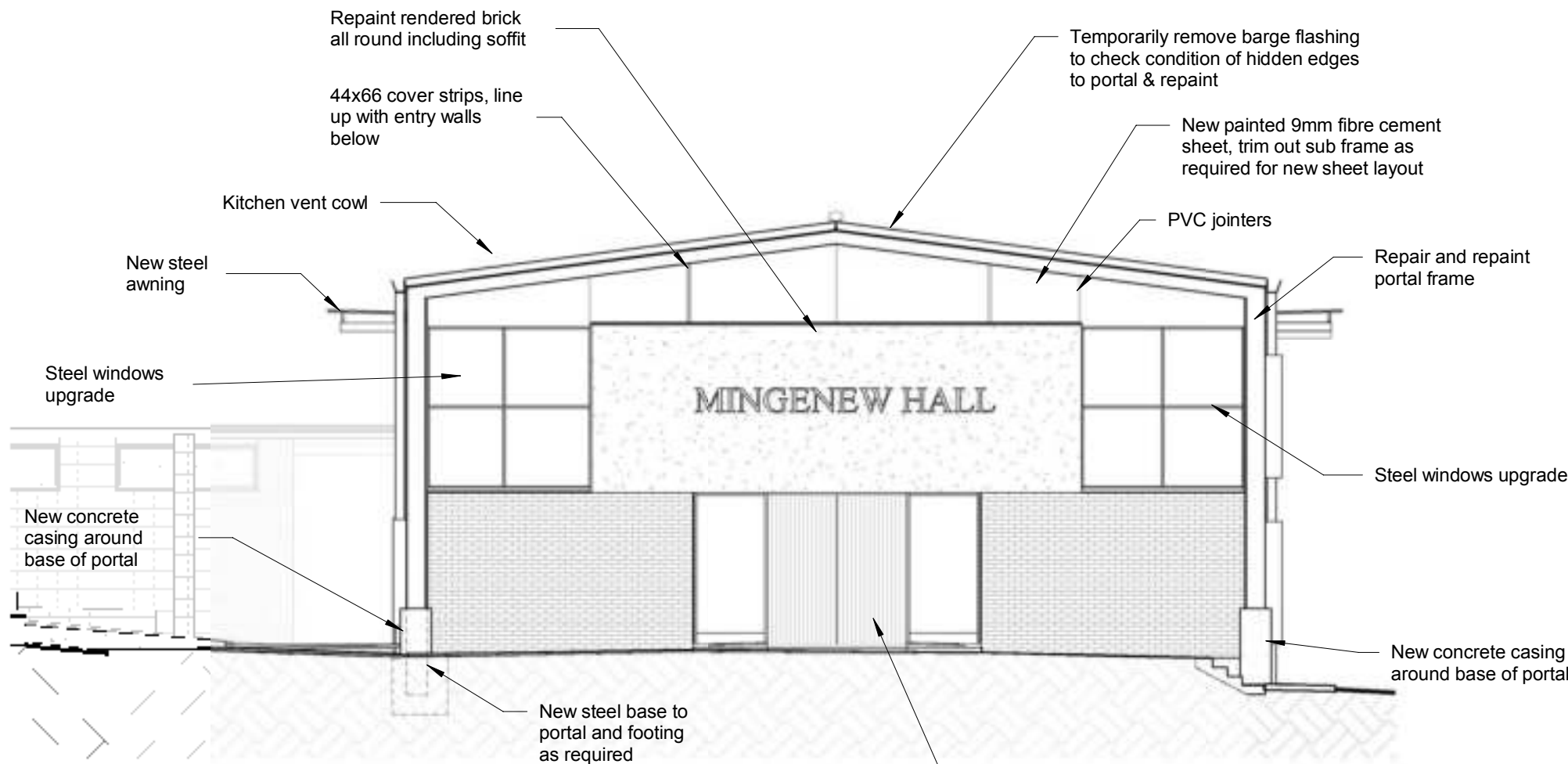
Cut a new access door through rear wall to enter under stage.
Cut out part existing floor to enable access to crawl space.
Undertake a thorough inspection of sub floor timber condition, ventilation and clearances.

RW 1 Steel framed window refurbishment - upper north and south windows

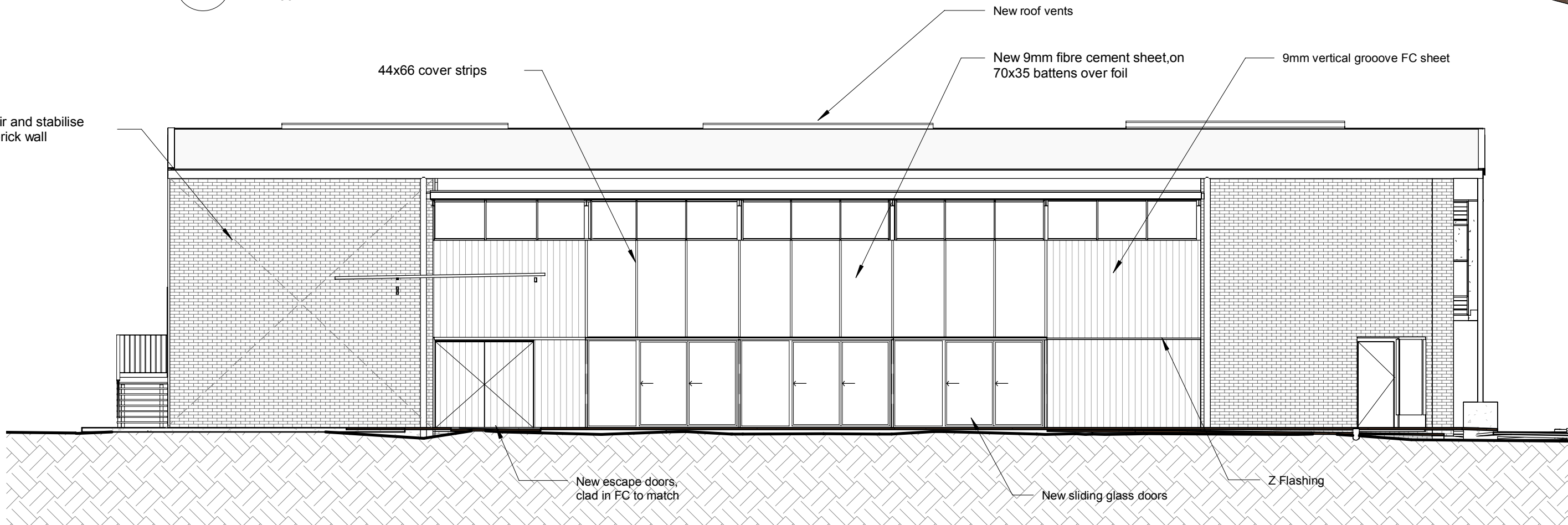
Retain and restore the upper level window frames, re-glaze as required and repaint.
Provide remote electric window openers to opening windows.

RW 1 Fill in north doors

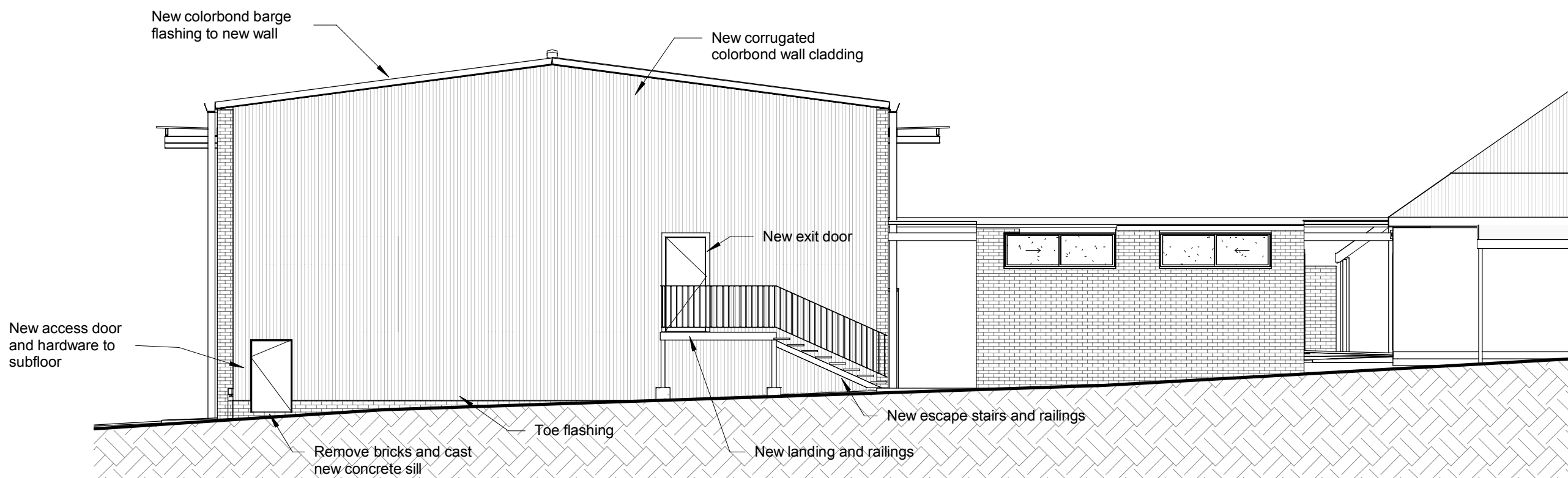
Remove north doors both levels and fill in with new aluminium framed windows, fibre cement sunshade and stud infill wall. Flash over sills, and insulate R2.5



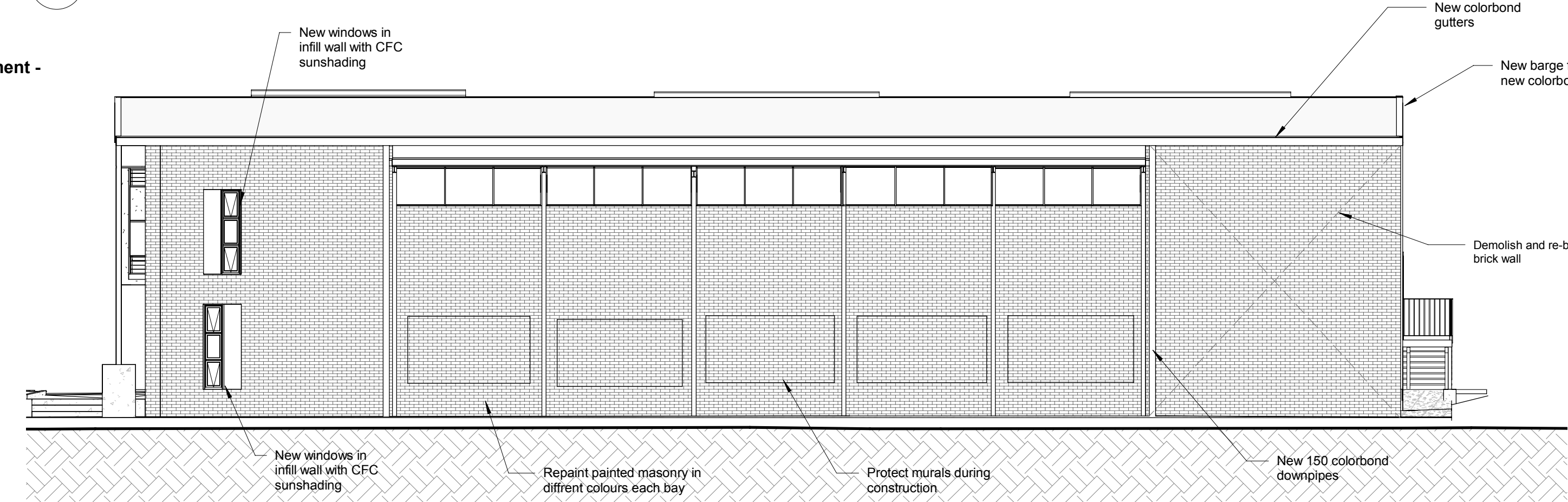
1 Proposed East Elevation
1 : 100



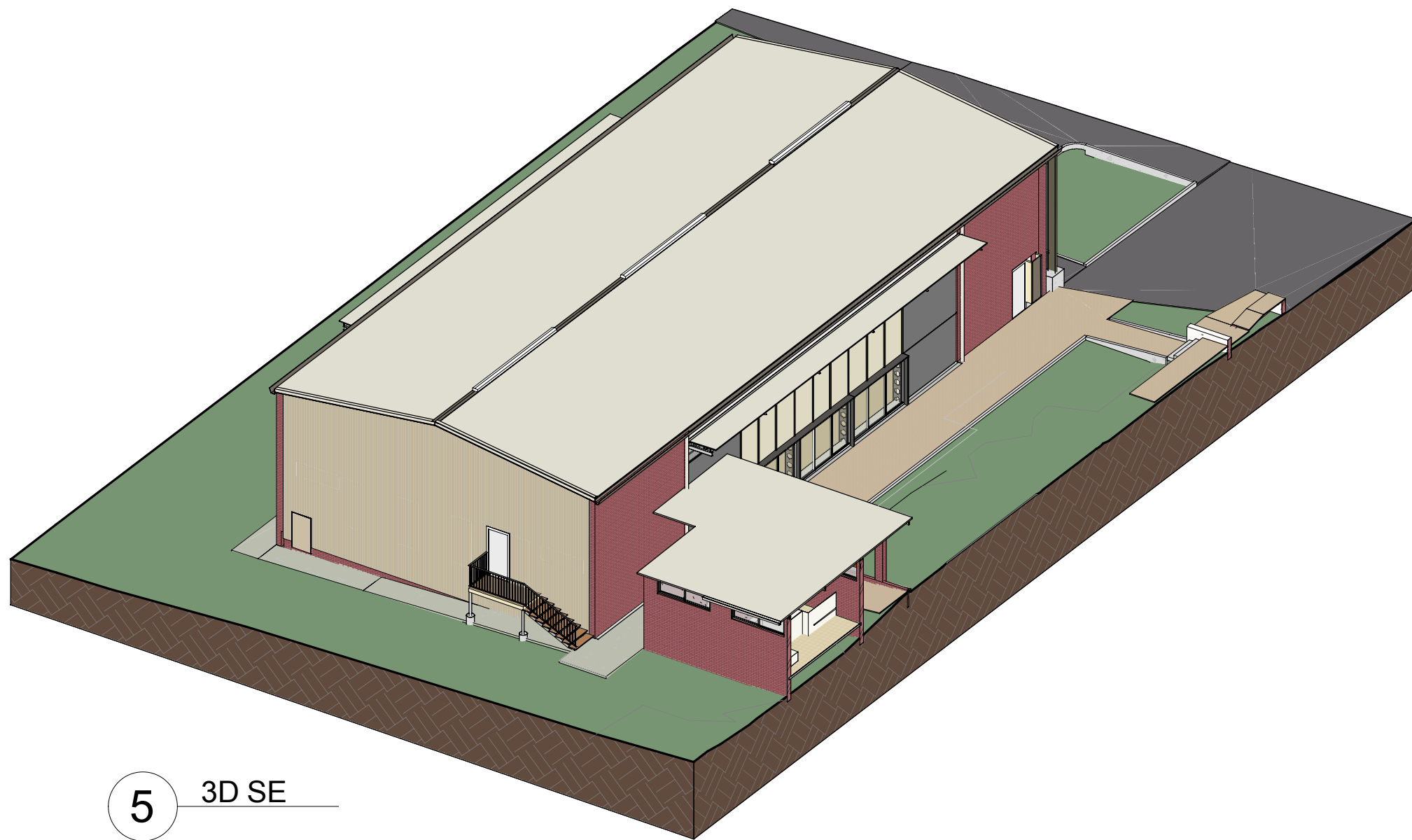
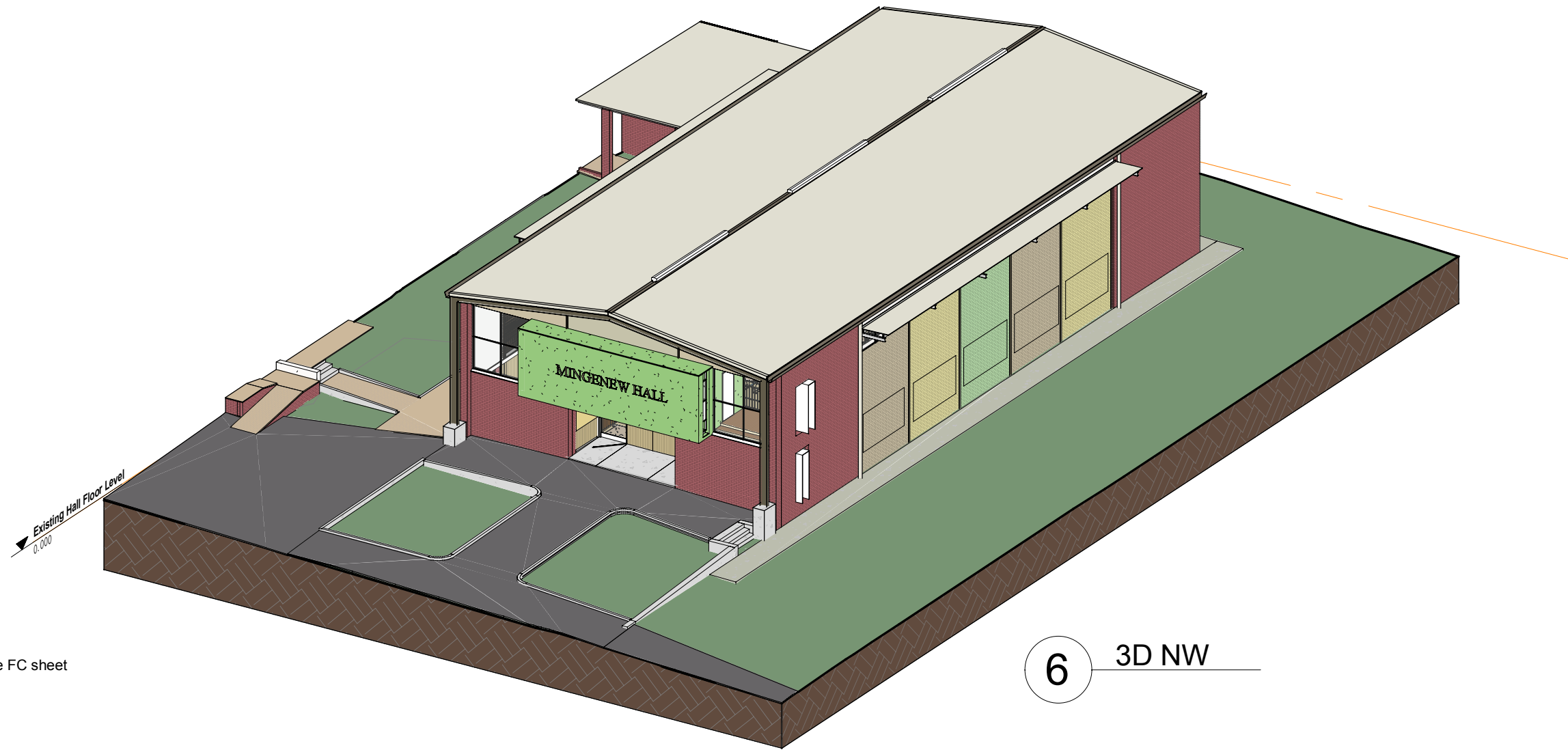
2 Proposed South Elevation
1 : 100



4 Proposed West Elevation
1 : 100



3 Proposed North Elevation
1 : 100



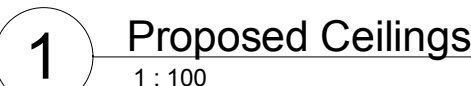
RW 1 Rebuild NW Wall

Demolish and rebuild masonry wall using existing bricks. New footing to engineer's detail. (Structure report suggests new 300mm wide footing down and onto the bedrock below. Drill and epoxy grout 4 equally spaced 800mm long N12 reinforcing bars, 400mm into the existing footing.

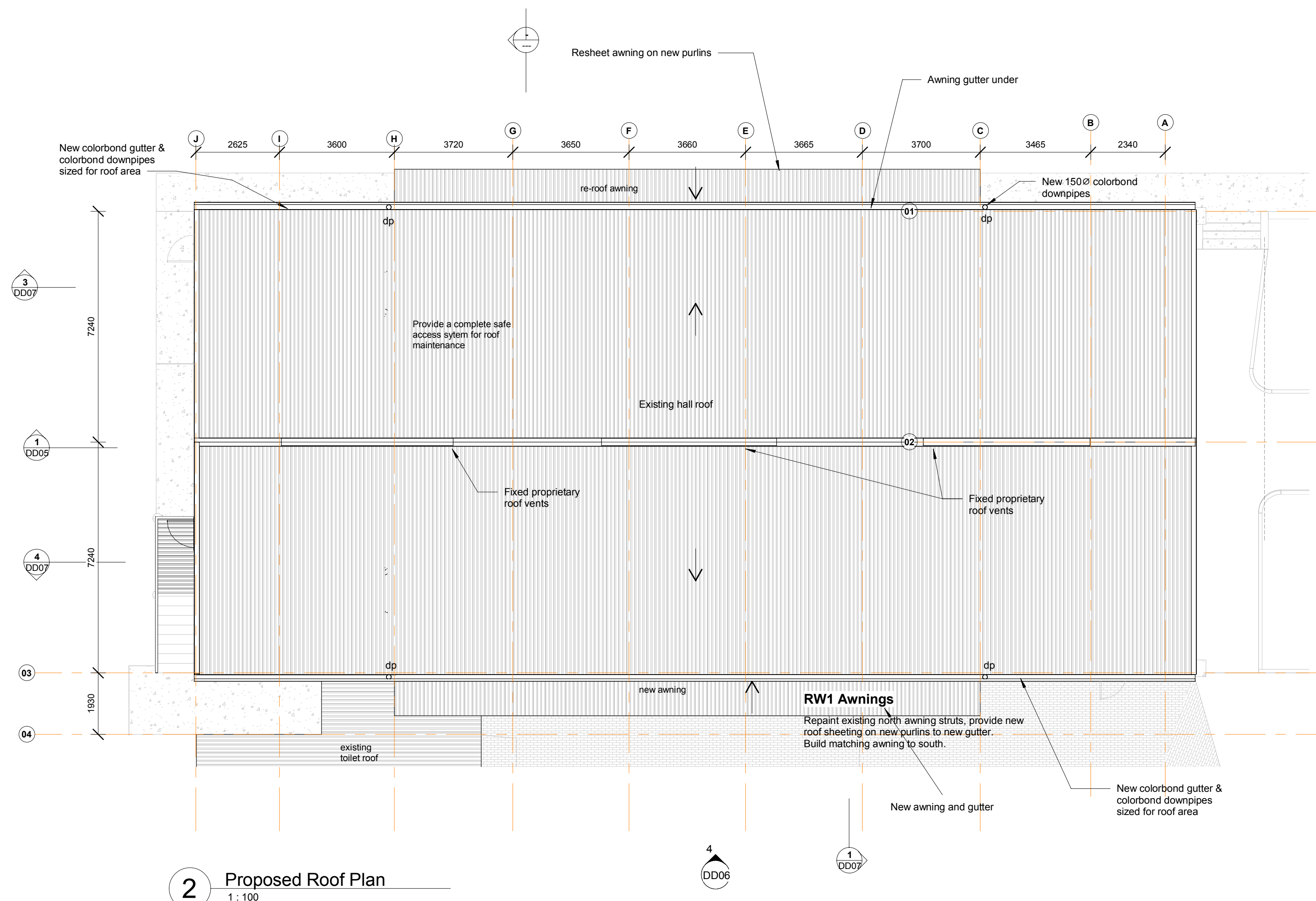
Treat any rust on the steel portal frame, waterproof, and encase base in new footing above ground level.
Insulate and re-line internally.



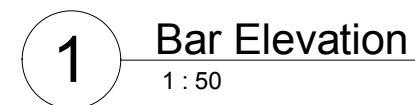
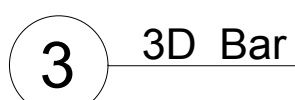
Supply and install a remote motorised drop down projector.
Supply and install a remote motorised projector screen hung in front of curtains.



The roof is new, and is retained.
Install new gutters , downpipes and eaves flashing.
Install ridge vents.
Re-do barge cappings as required.
Provide a complete safe access system for future roof maintenance.

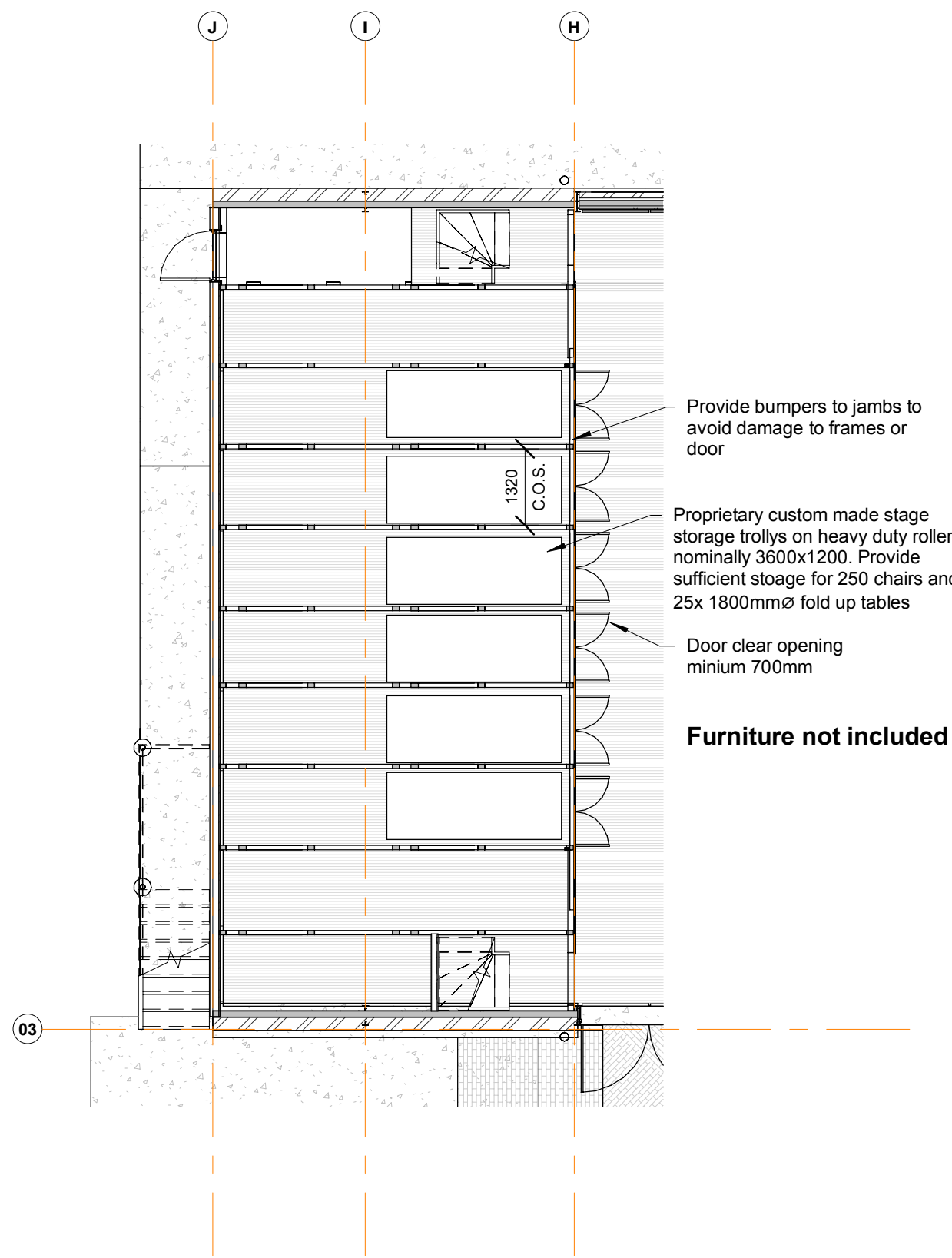


- Semi enclosure and east corner for a combined bar and kitchen.
- Remove a portion of existing floor boards to facilitate installation of subfloor drainage towards north and new water supply
- Gas supply
- New floor waterproofed and vinylted with floor waste to kitchen & Bar.
- Existing slab floor epoxy finished
- New built in joinery items and stainless steel benchtops and sinks
- Reuse floor boards for the new bar
- Existing timber wall is mostly left clear of fixtures and/or warming zone at east wall allows for a rangehood under a new ceiling with exhaust through mezzanine to roof.
- New mezzanine extension, rails and ceiling
- Localised lighting on walls and low ceiling
- Power supply to benches and fixtures
- Fire blanket / extinguishers
- Final design to be suitable for a W.A. Food Safety approval.



SP 2 Chair and Table Storage under Stage

Supply a custom understage storage solution for 250 chairs and 25 fold up tables. Supply suitable chairs and tables to clients selection.



1 Chair storage
1 : 100

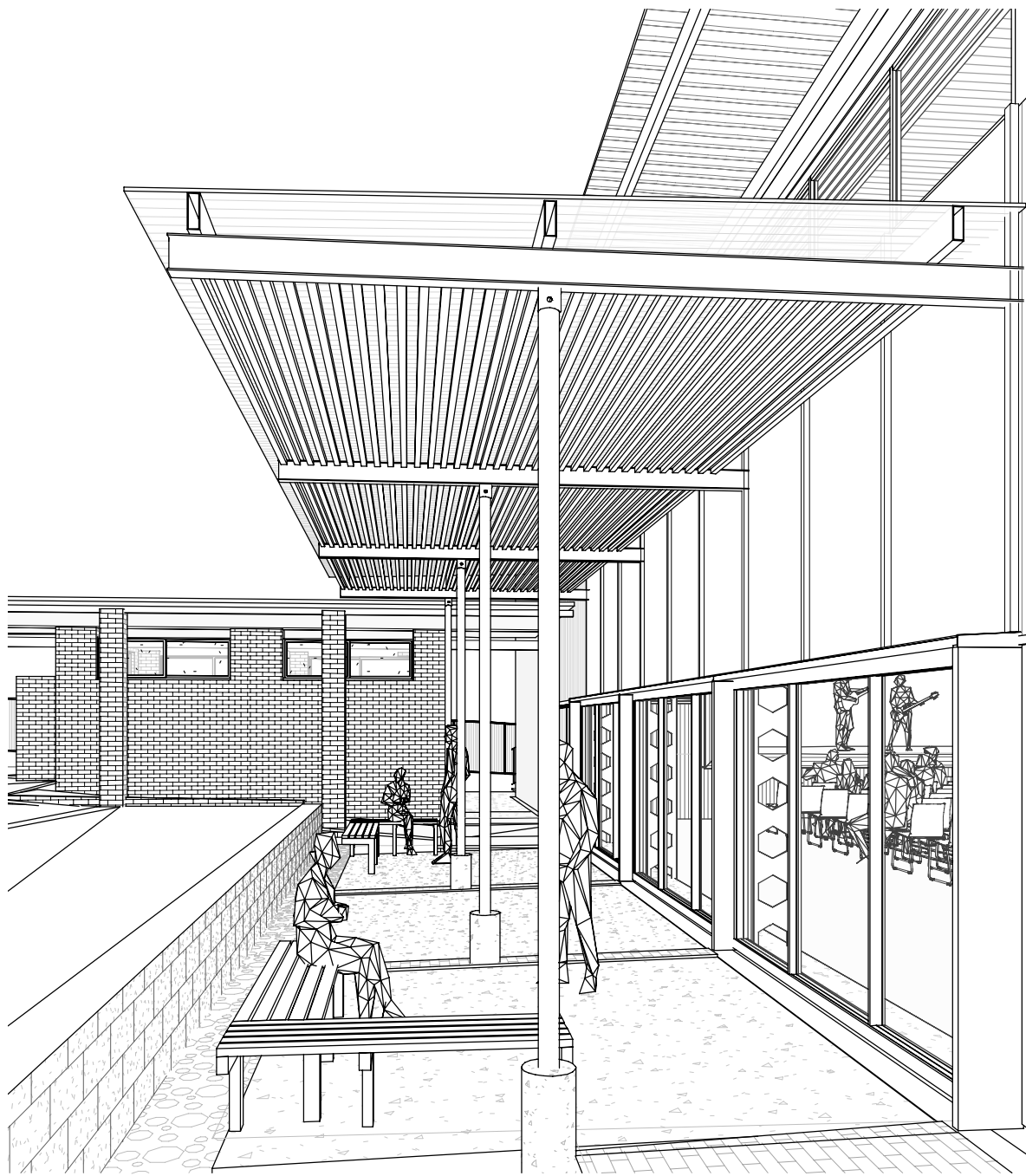


SP3 Southern breakout verandah

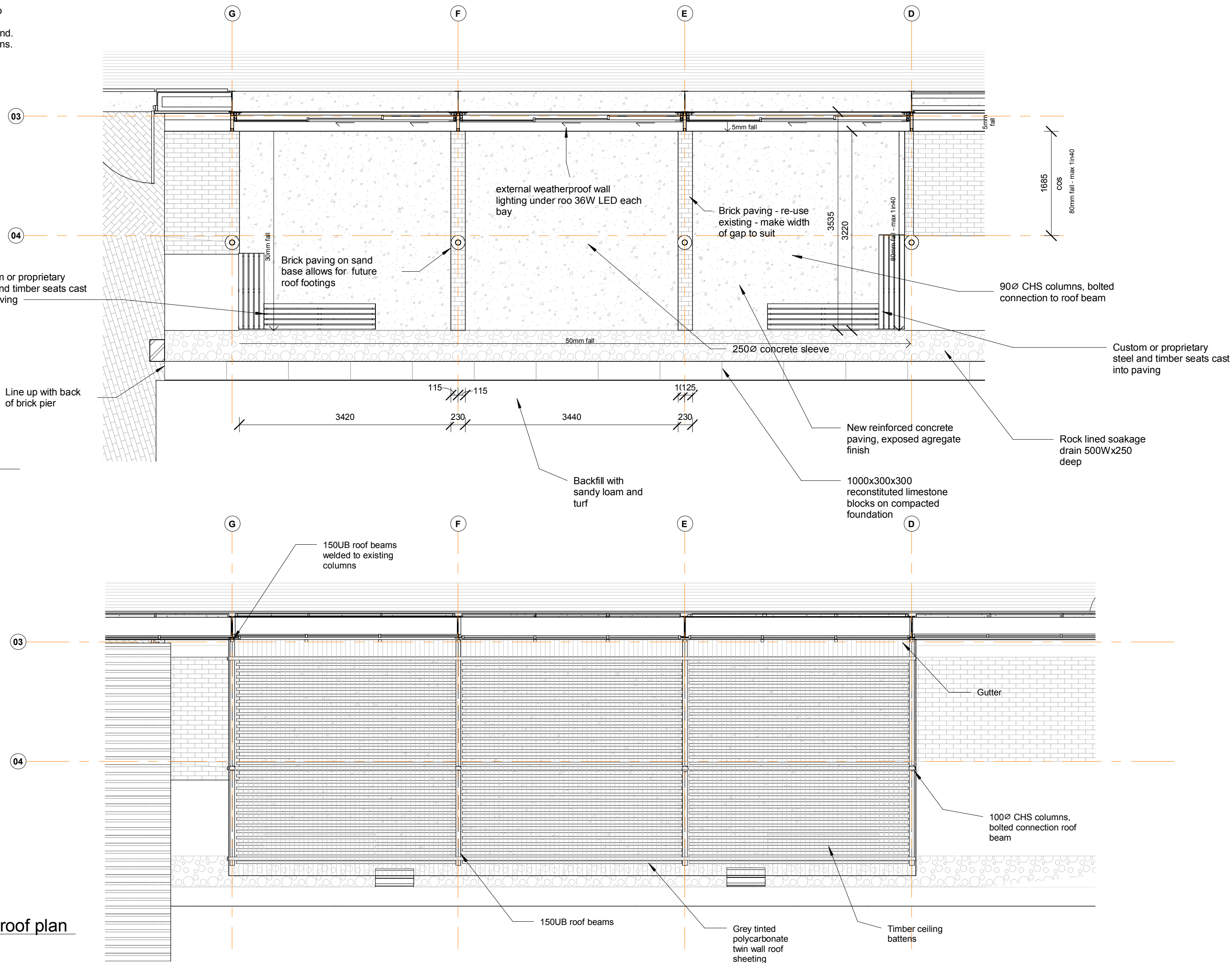
A new paved breakout courtyard drains to a gravel soakaway that drains to the street. Excavate existing paving to form new falls to gravel soakage drain. Build new retaining wall and lift lawn up behind. Build a new verandah over with shade battens. Built in seating.

2 Breakout courtyard
1 : 50

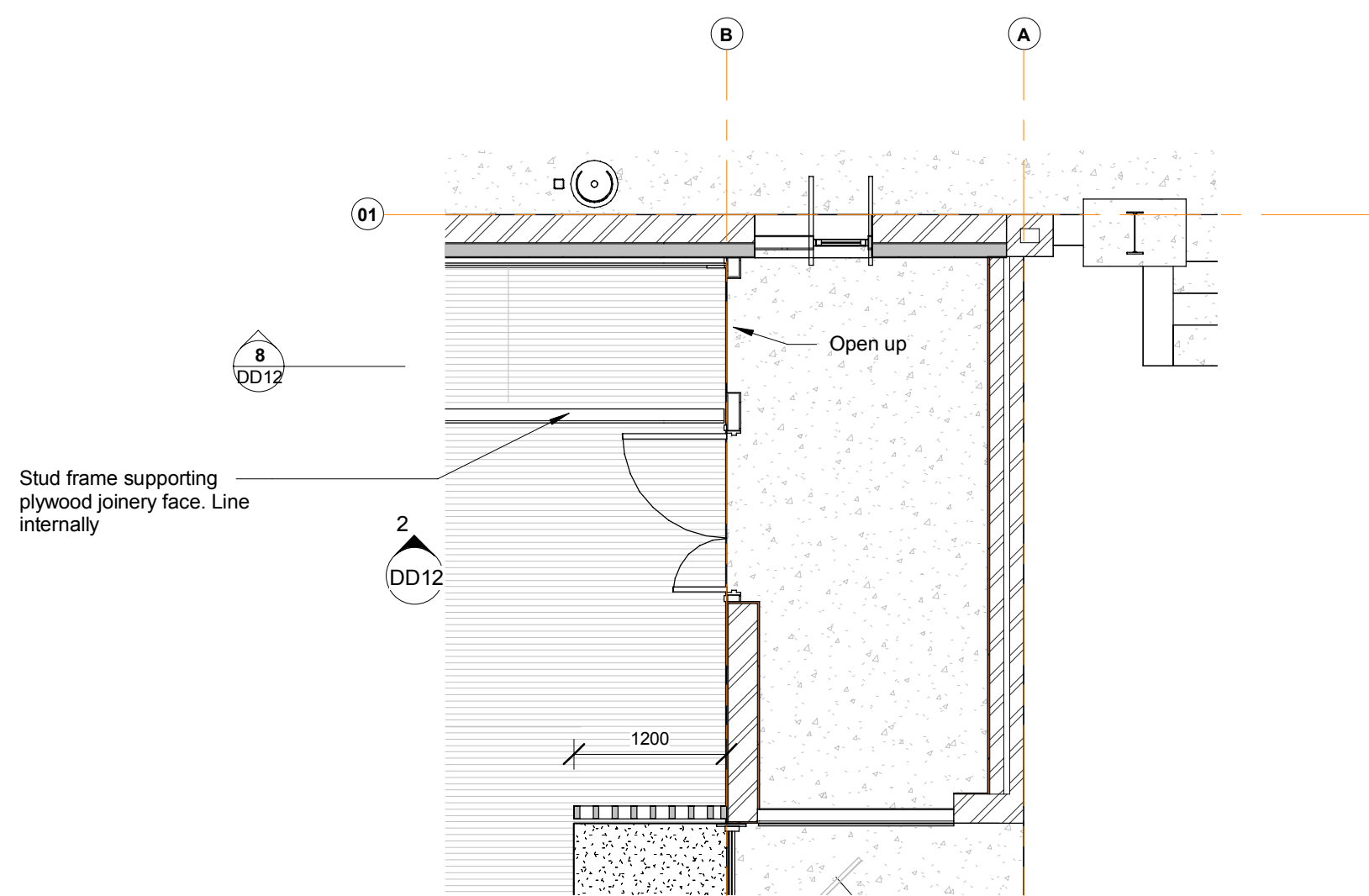
3 Breakout verandah roof plan
1 : 50



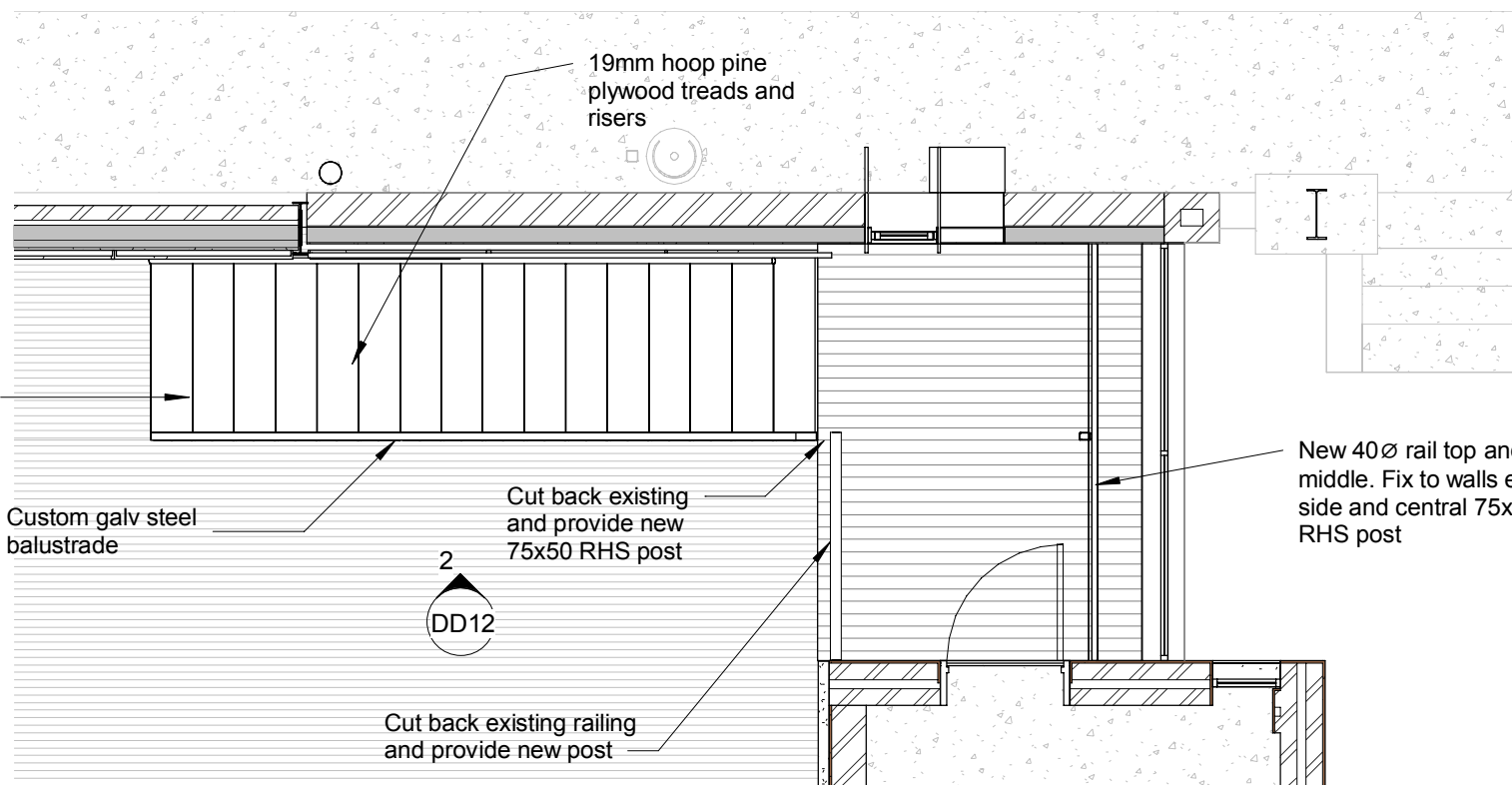
4 Breakout verandah
1 : 50



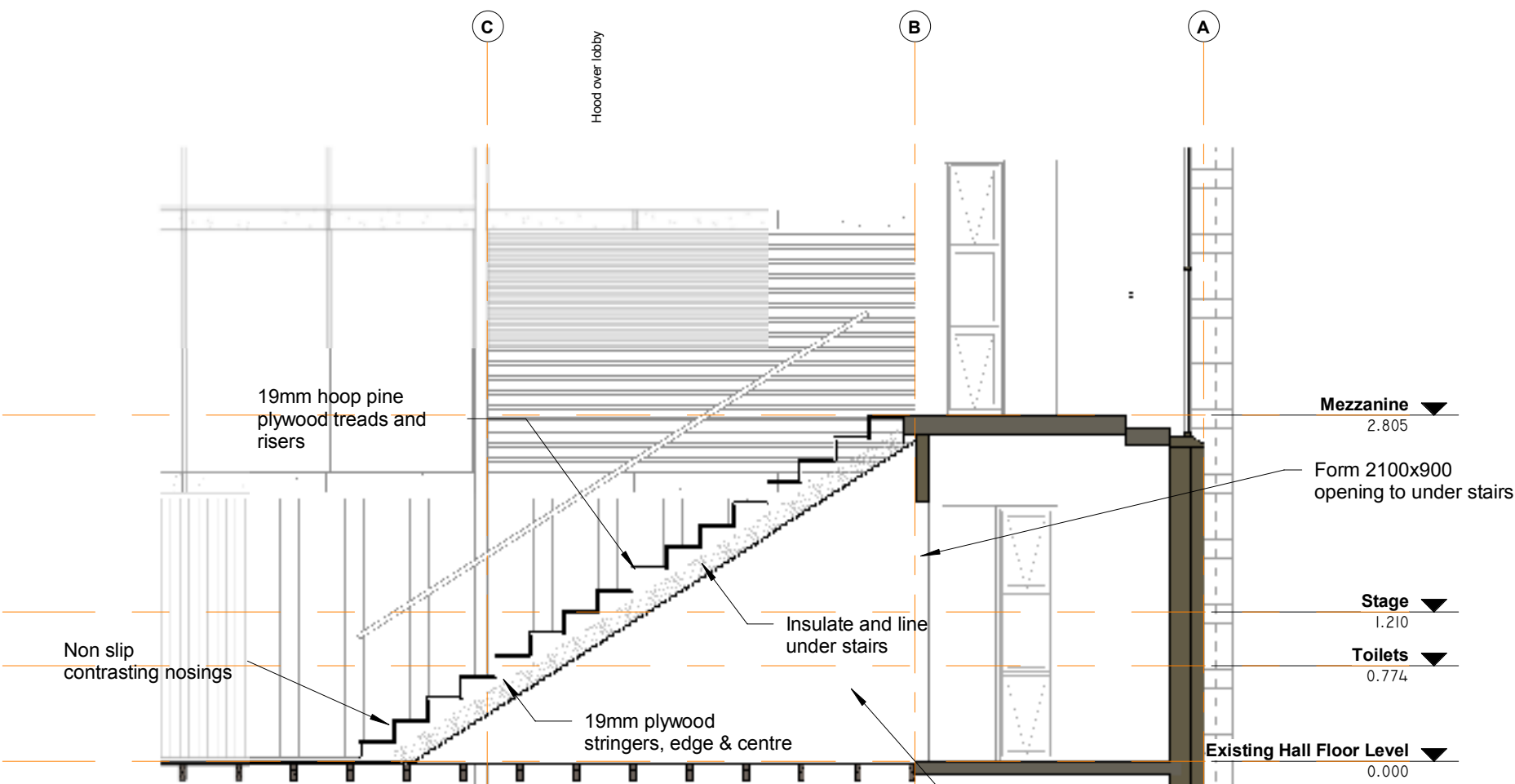
5 Section through breakout space
1 : 50



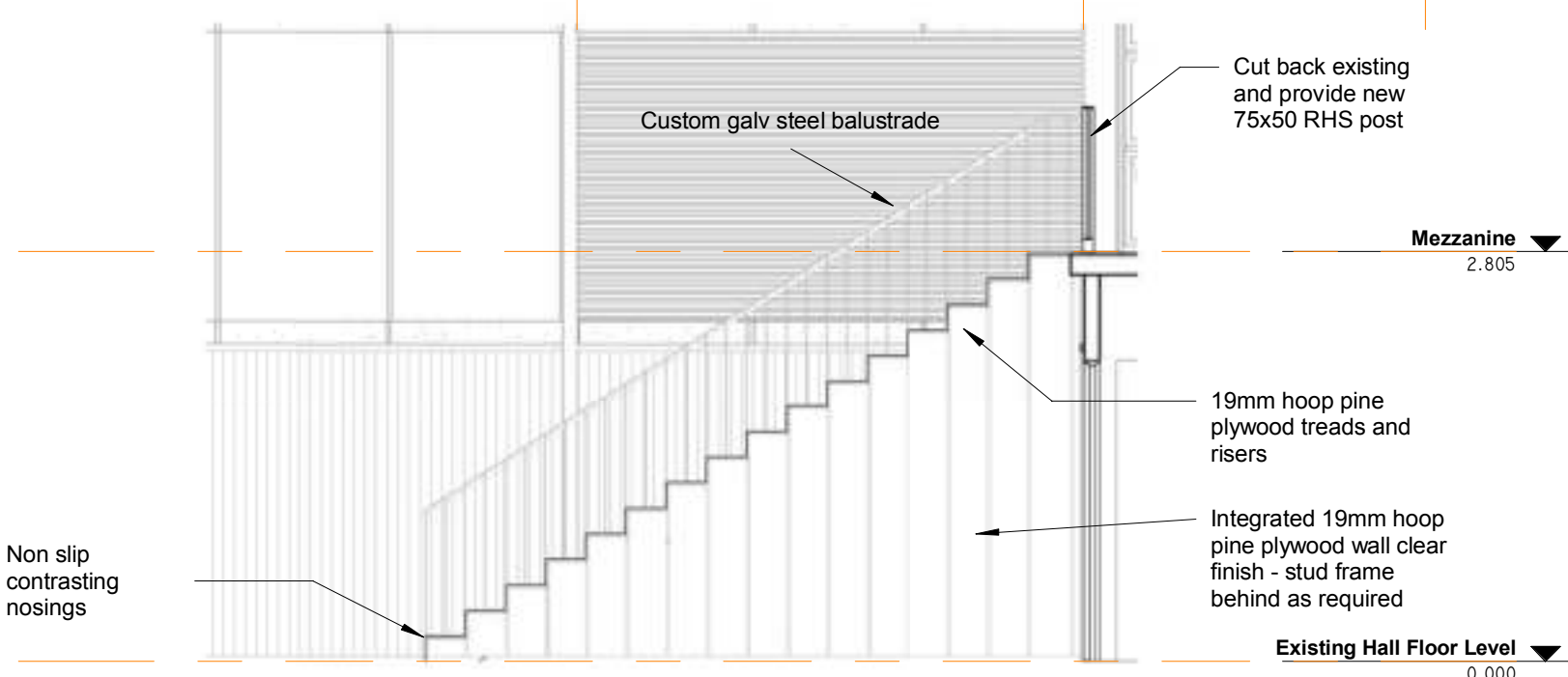
9 Mezzanine stairs (under)
1:50



1 Proposed Stairs to mezzanine
1:50



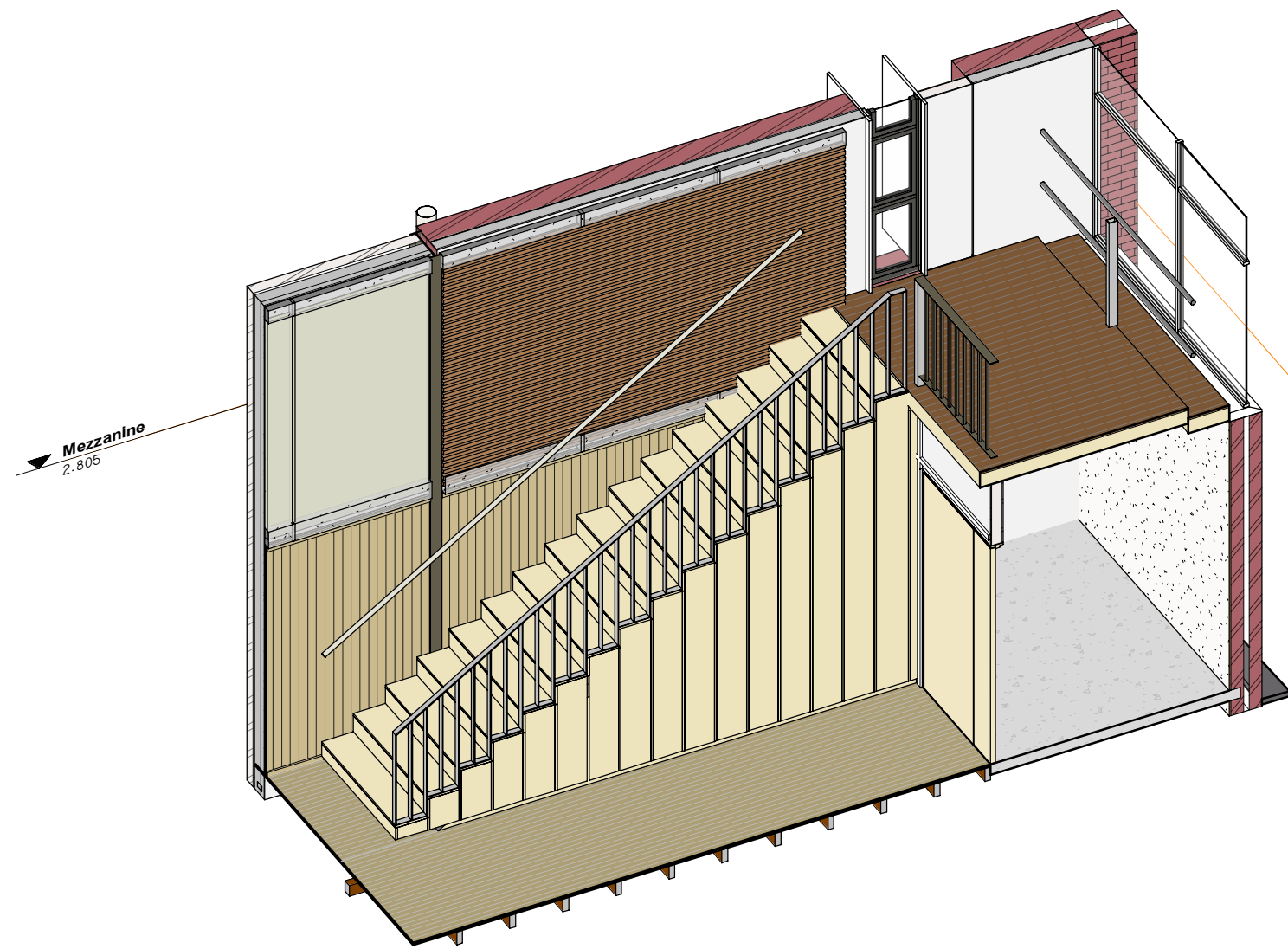
8 Proposed Long Section through ramp and stairs
1:50



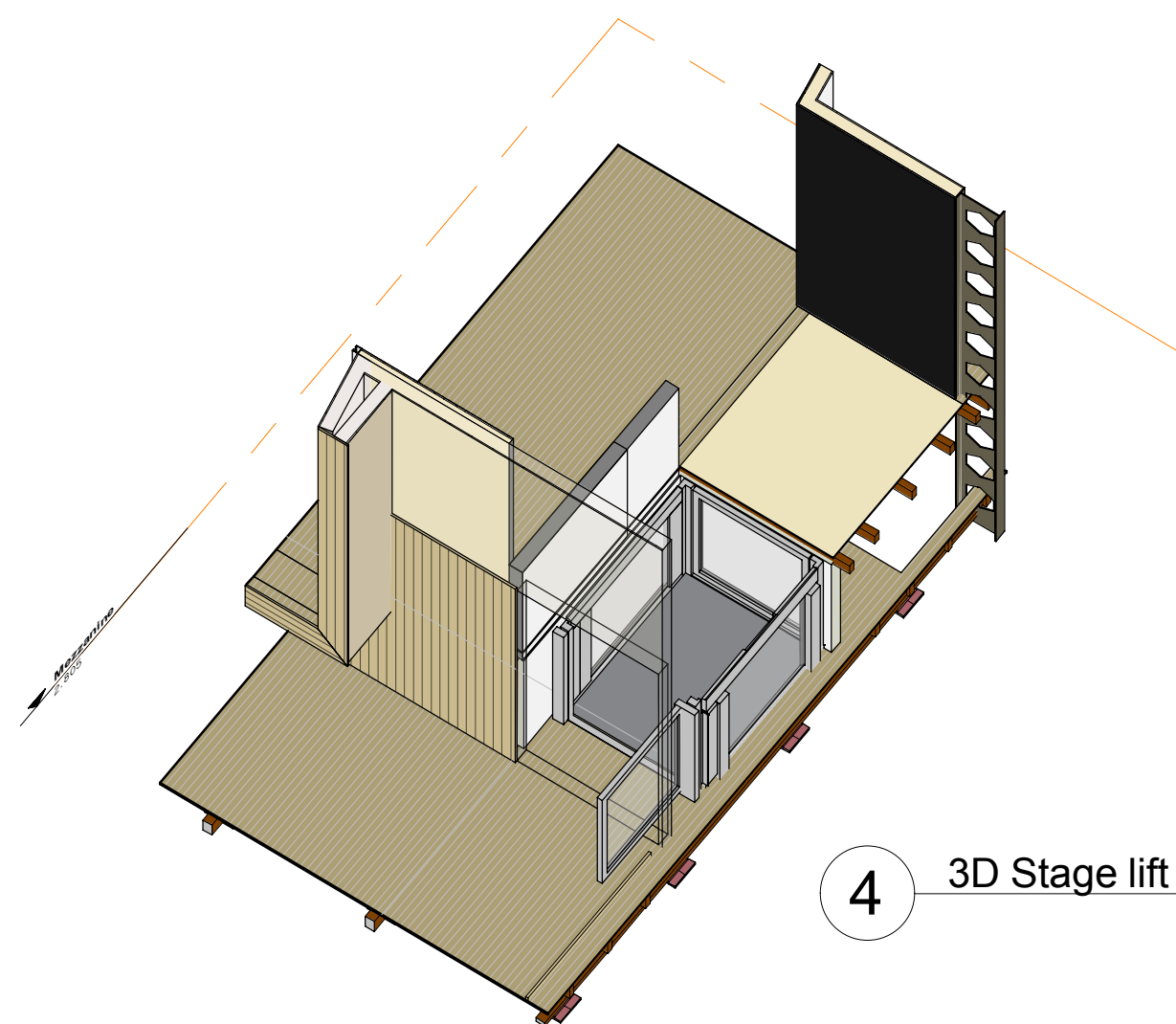
2 Stair elevation
1:50

SP4 Mezzanine Stair

Build new plywood stair and wall as a single joinery item to the mezzanine.
Provide BCA compliant galvanised steel circular balustrade and handrail to open side, and matching handrail to wall side.
Provide additional rail in front of eastern windows



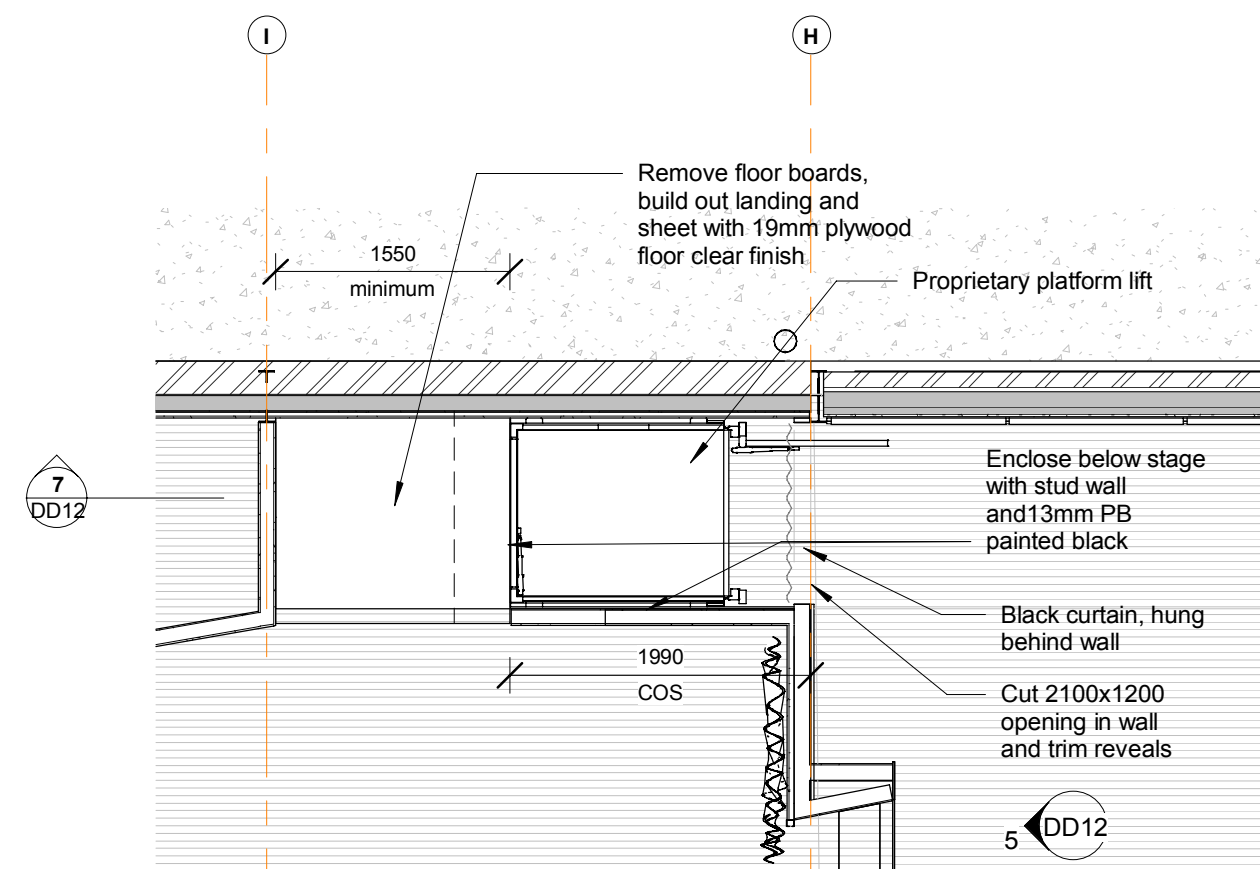
6 3D Stairs



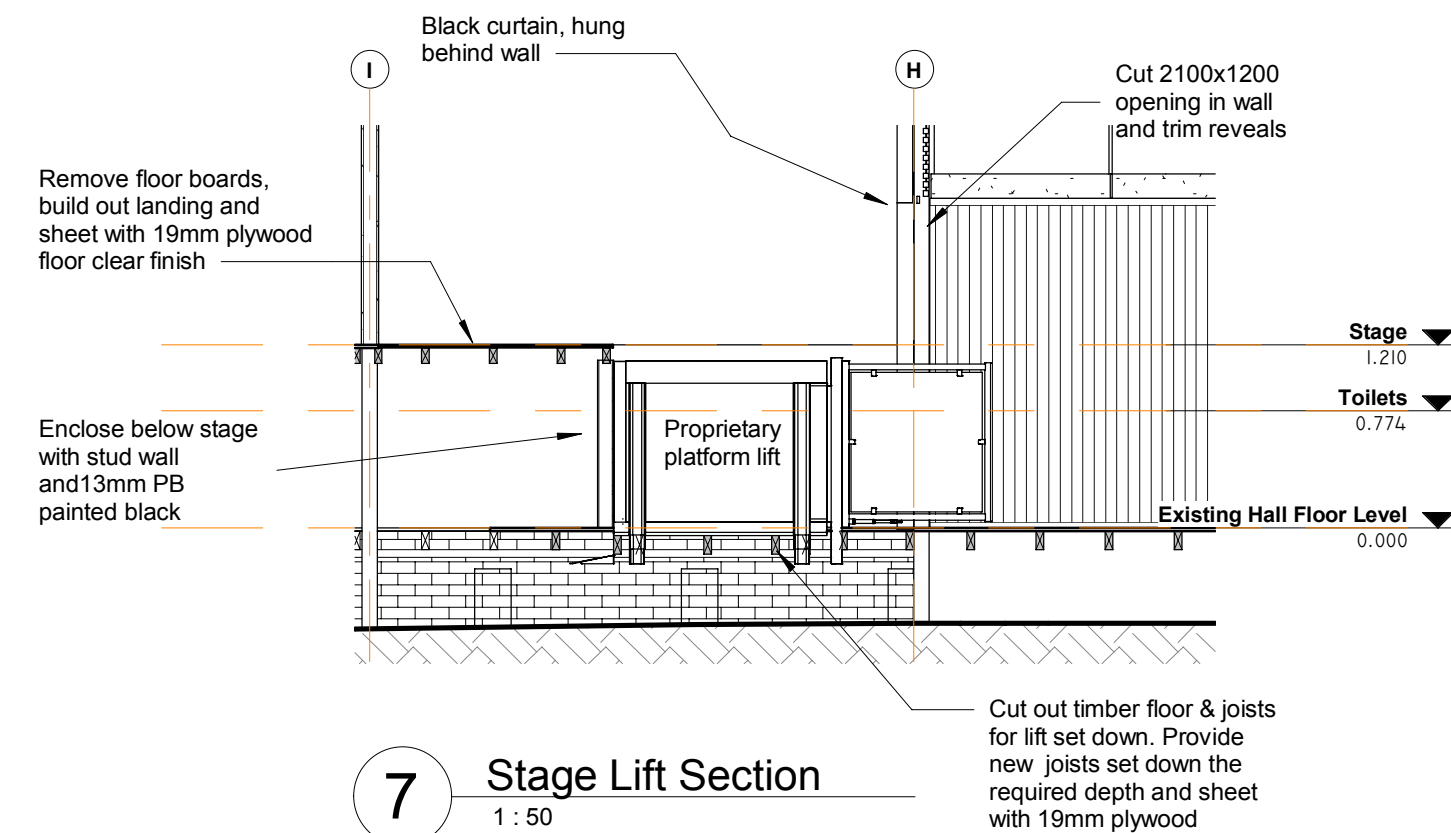
4 3D Stage lift

SP4 Platform Lift

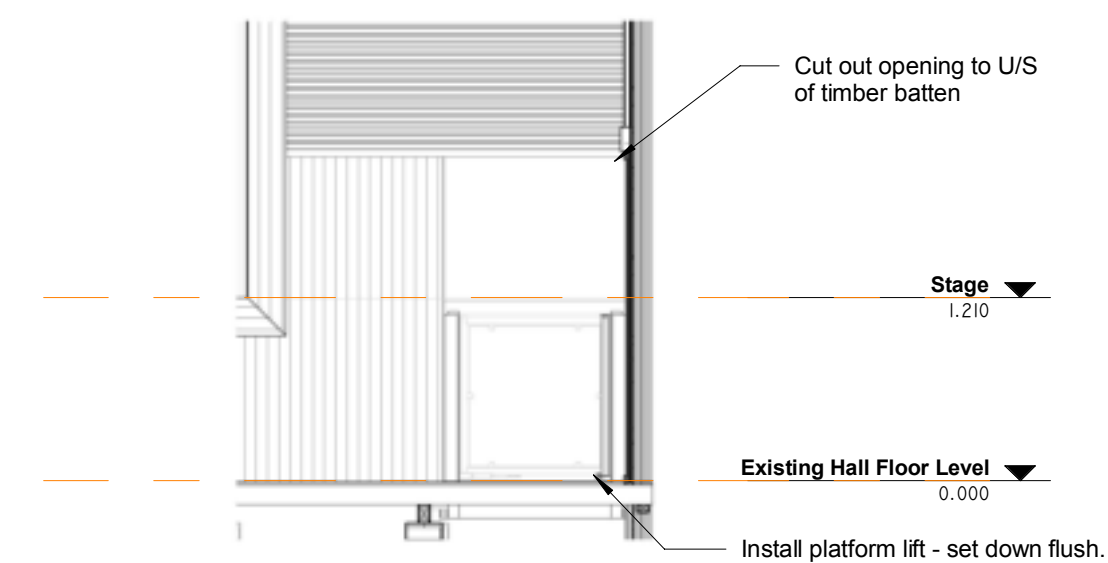
Remove existing stair and cut new opening in stage wall. Extend upper landing and close off under stage. Install proprietary platform lift set down flush with hall floor level. Provide curtain to back of wall.



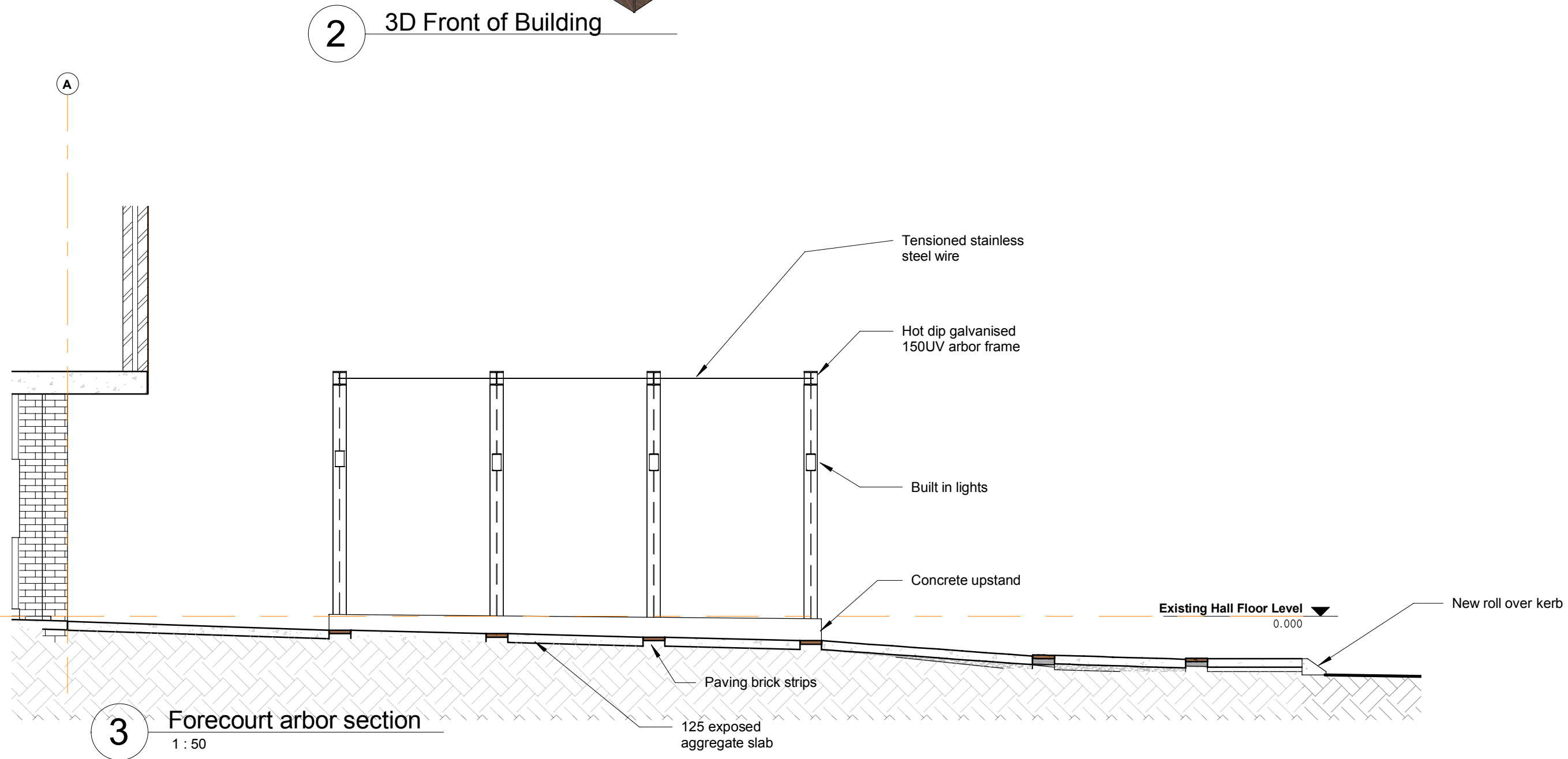
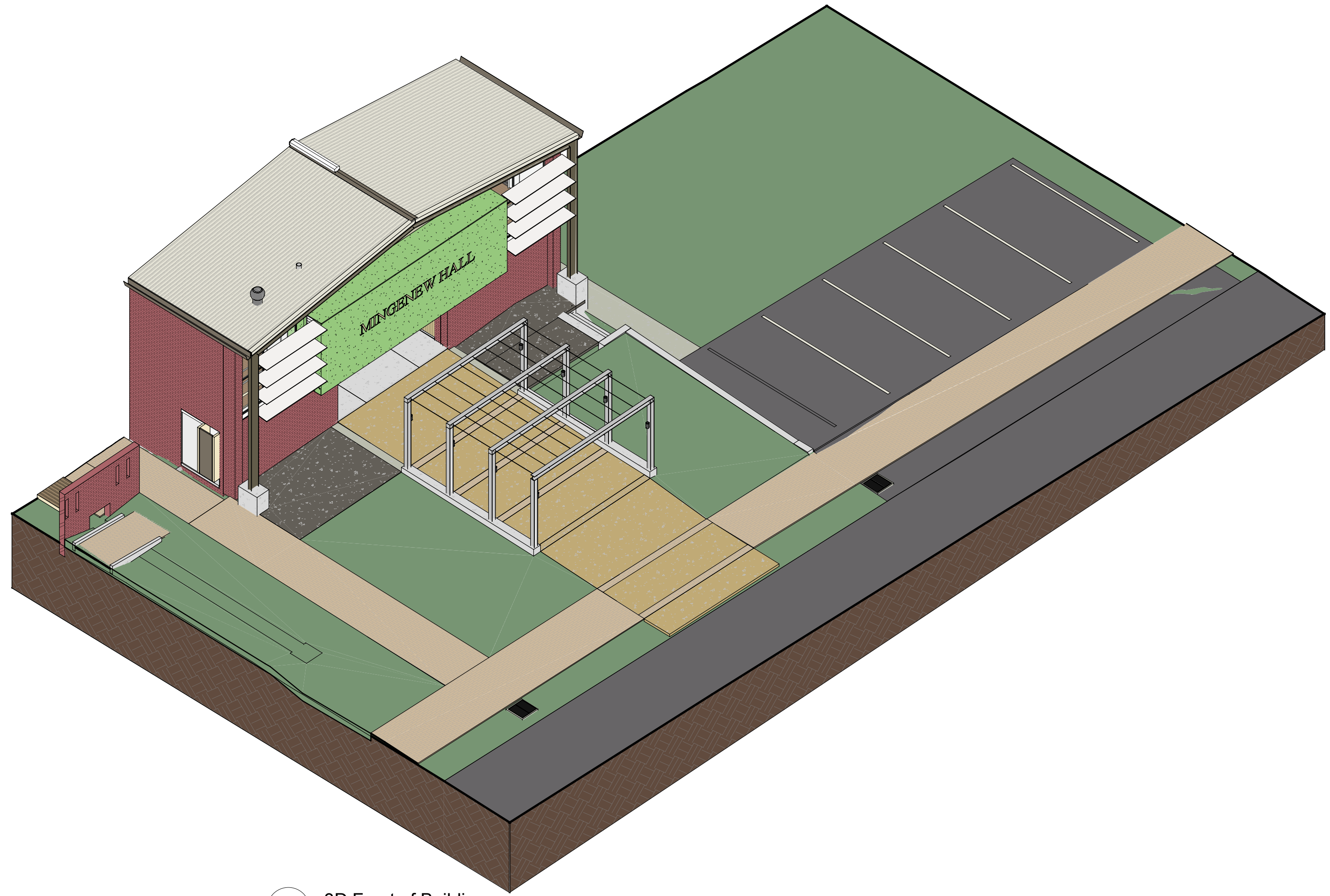
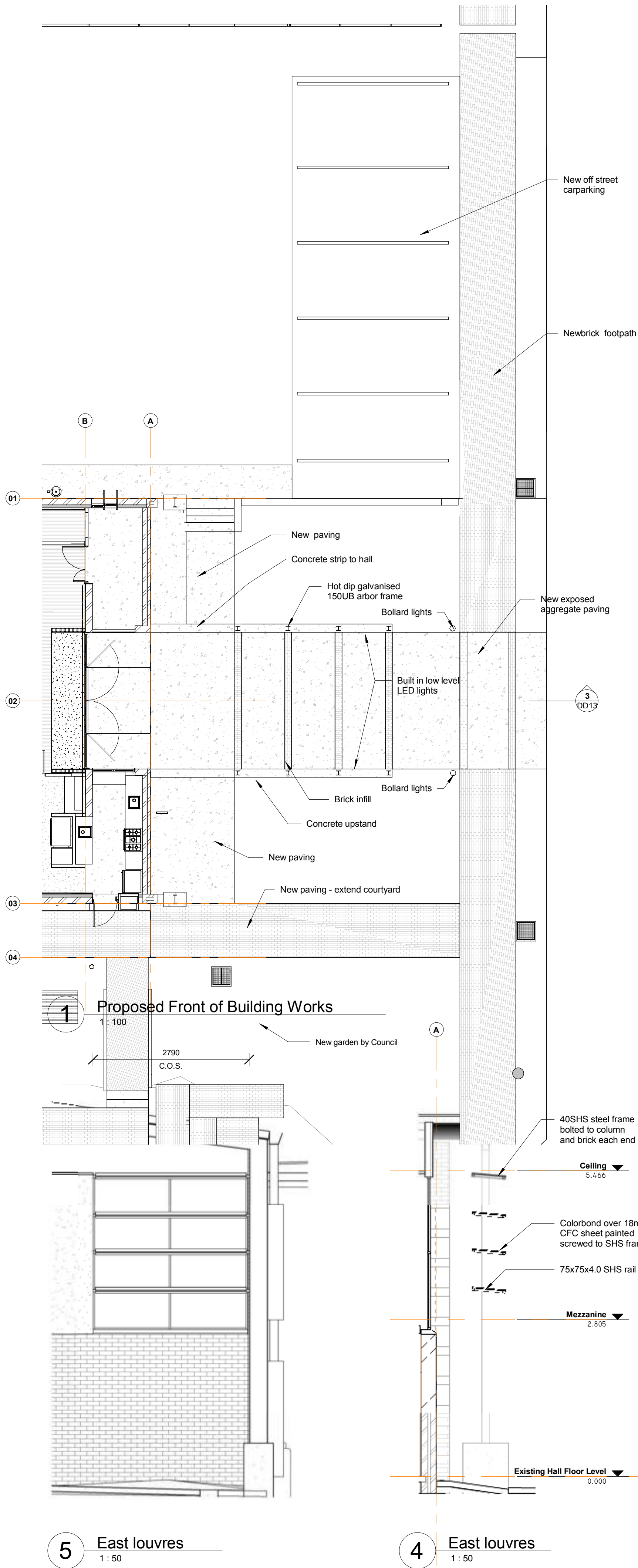
3 Proposed Stage Access Lift
1:50



7 Stage Lift Section
1:50



5 Stage Lift Elevation
1:50

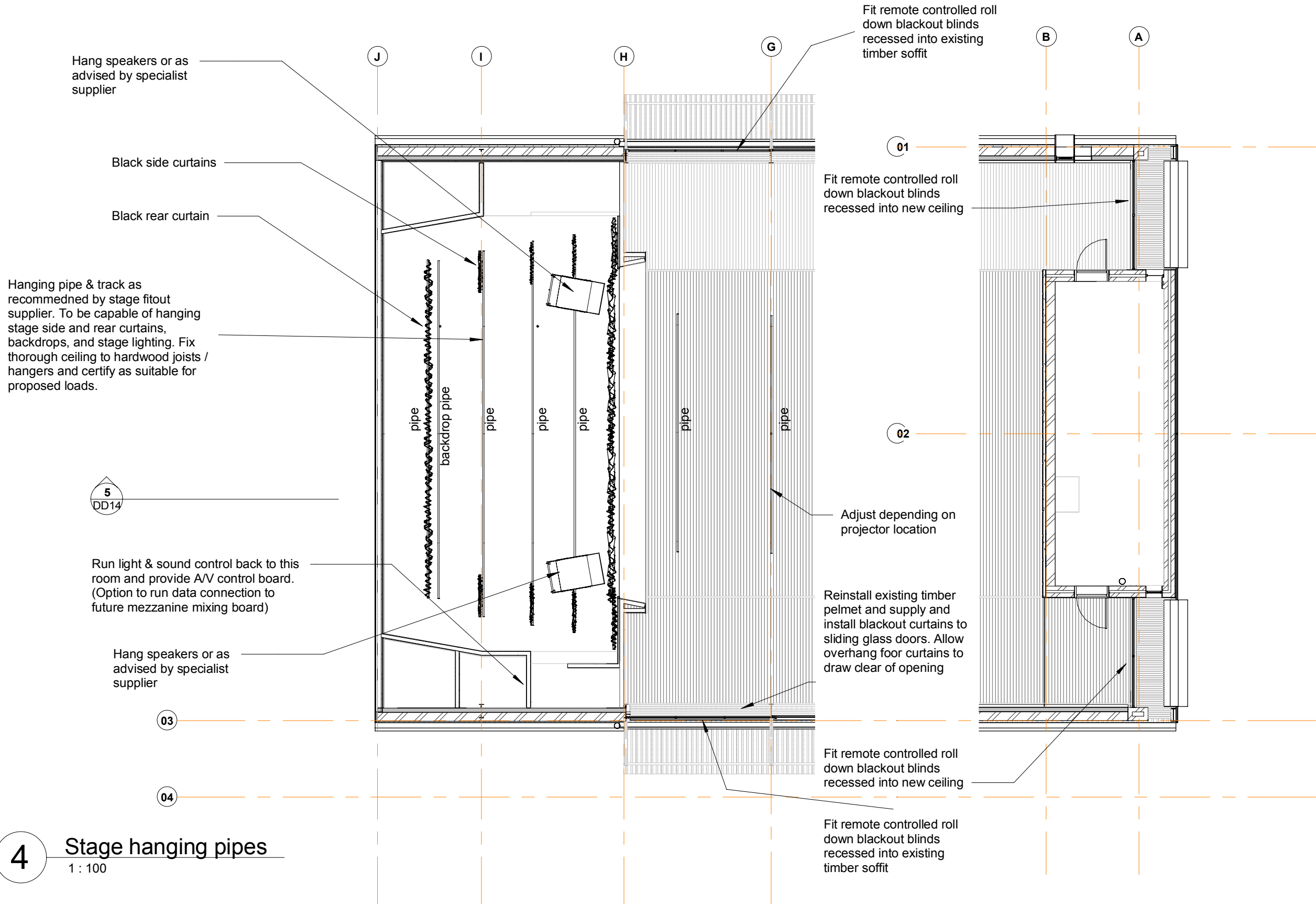


SP 6 Stage audio visual

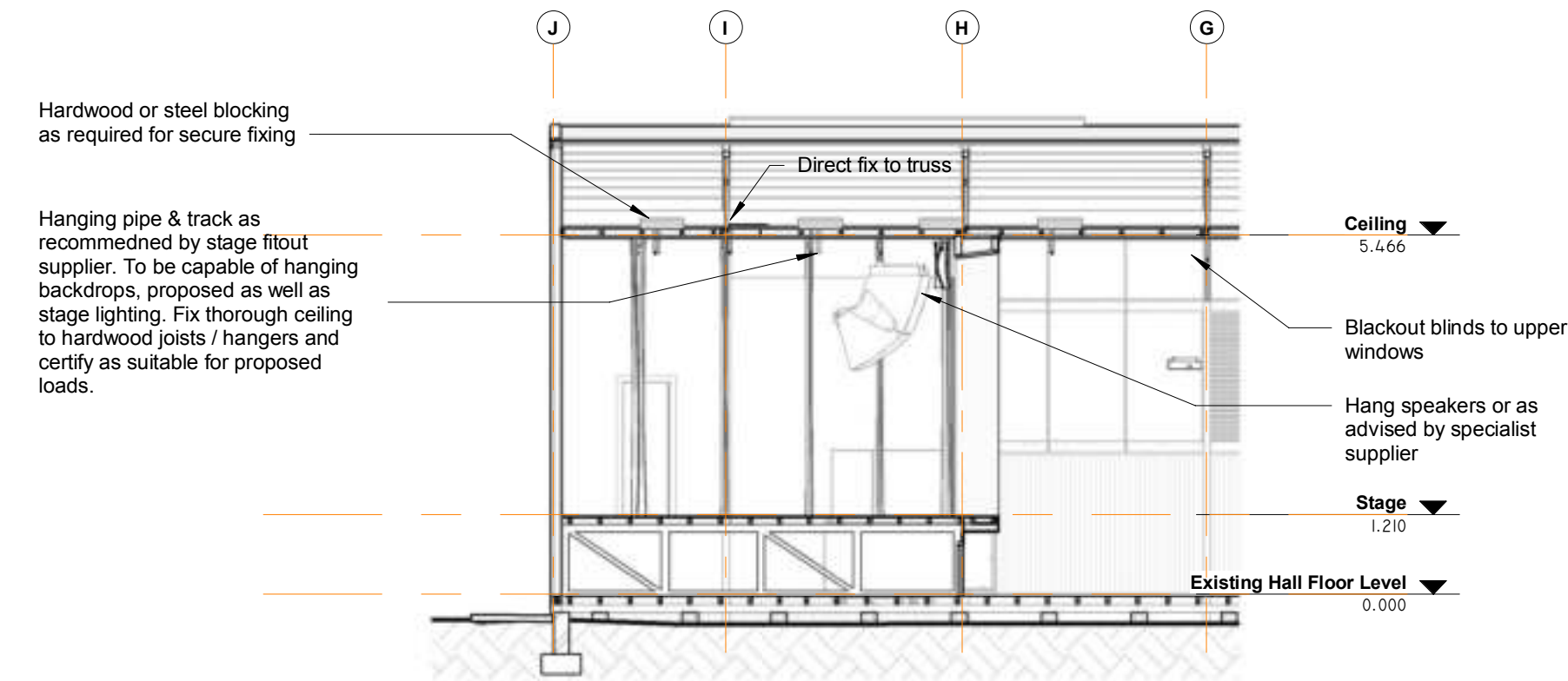
Supply and install hanging pipes for rigging and lights to the recommendation of specialist supplier
Supply and install basic remote stage lighting
Supply and install fixed speaker system
Generally as advised by specialist supplier and approved by client
Wire A/V back to A/V room.
Run new power supply through ceiling as required.

SP 6 Blackout blinds and curtains

Supply and install remote controlled blackout blinds to all upper windows.
Supply and install remote controlled blackout blinds to both eastern windows
Supply and install blackout curtain to new sliding glass doors



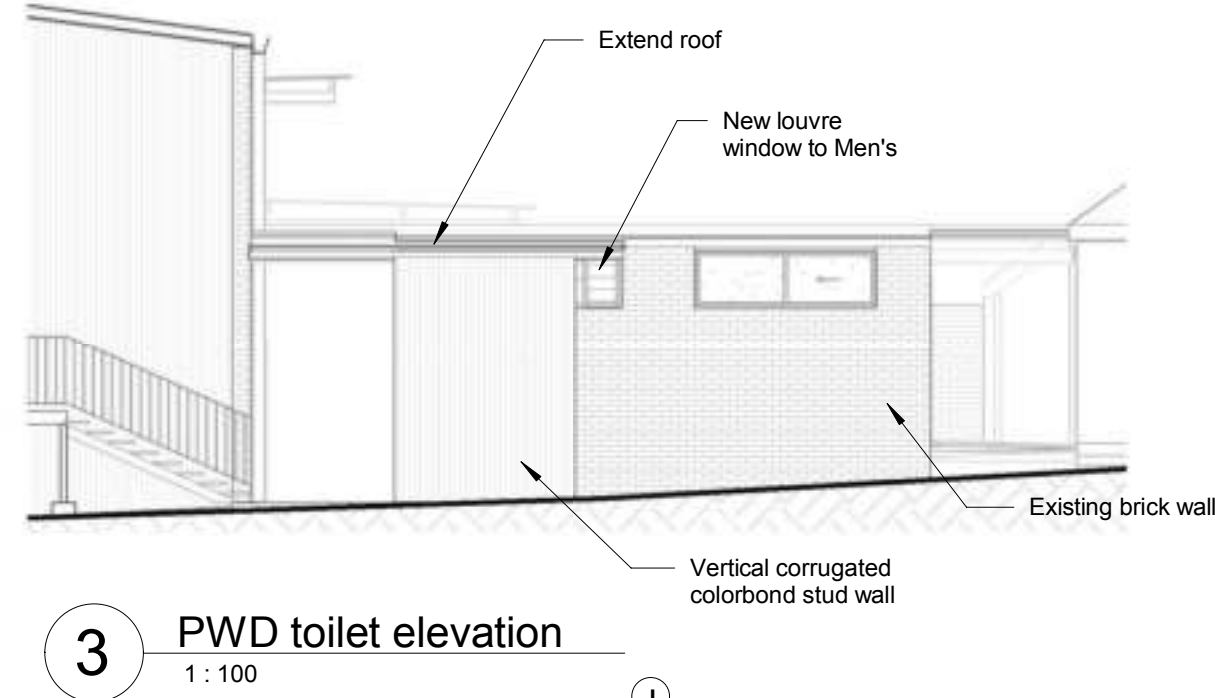
4 Stage hanging pipes
1:100



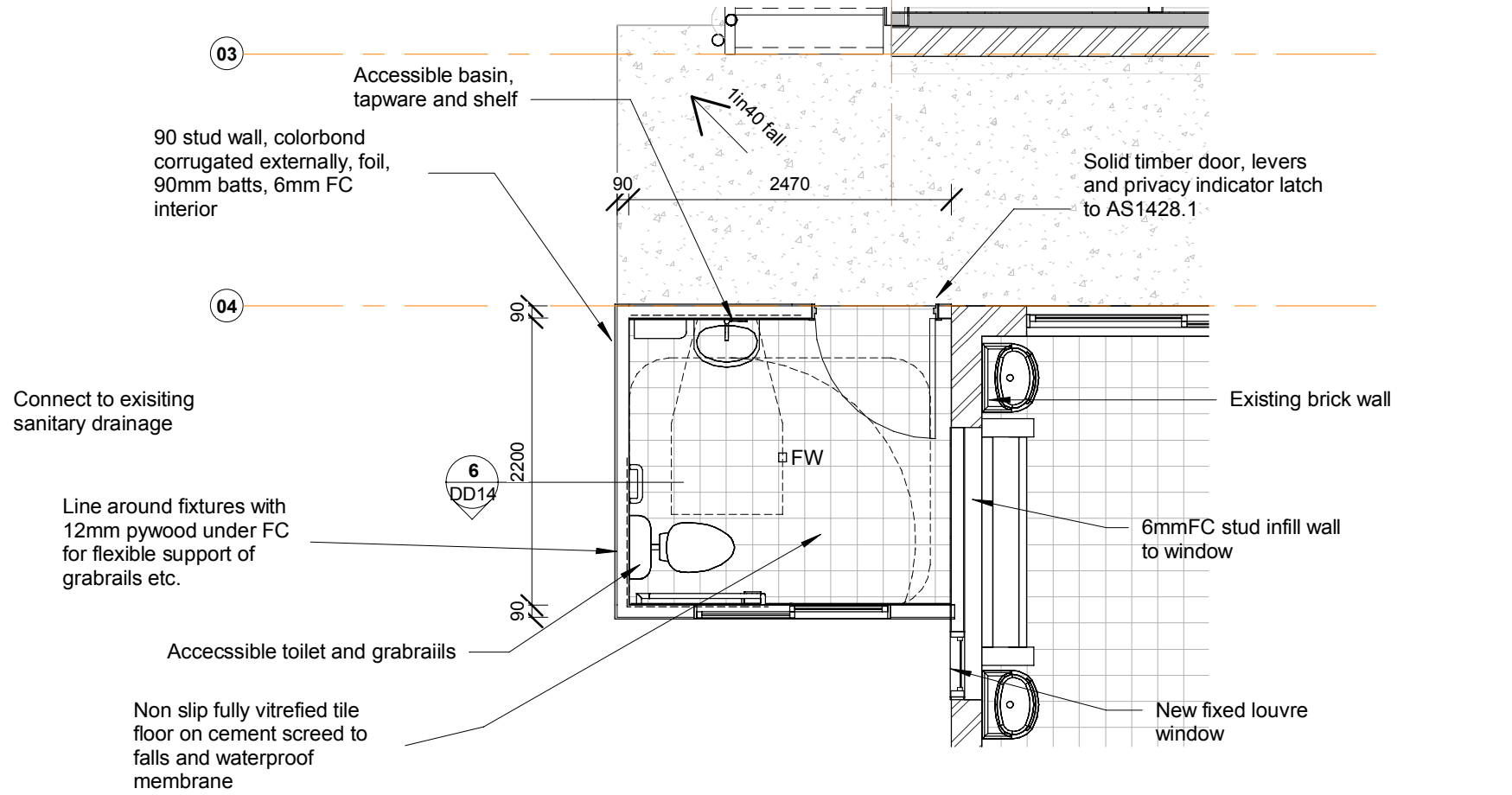
5 Stage pipes and rigging section
1:100

SP7 All Abilities Toilet

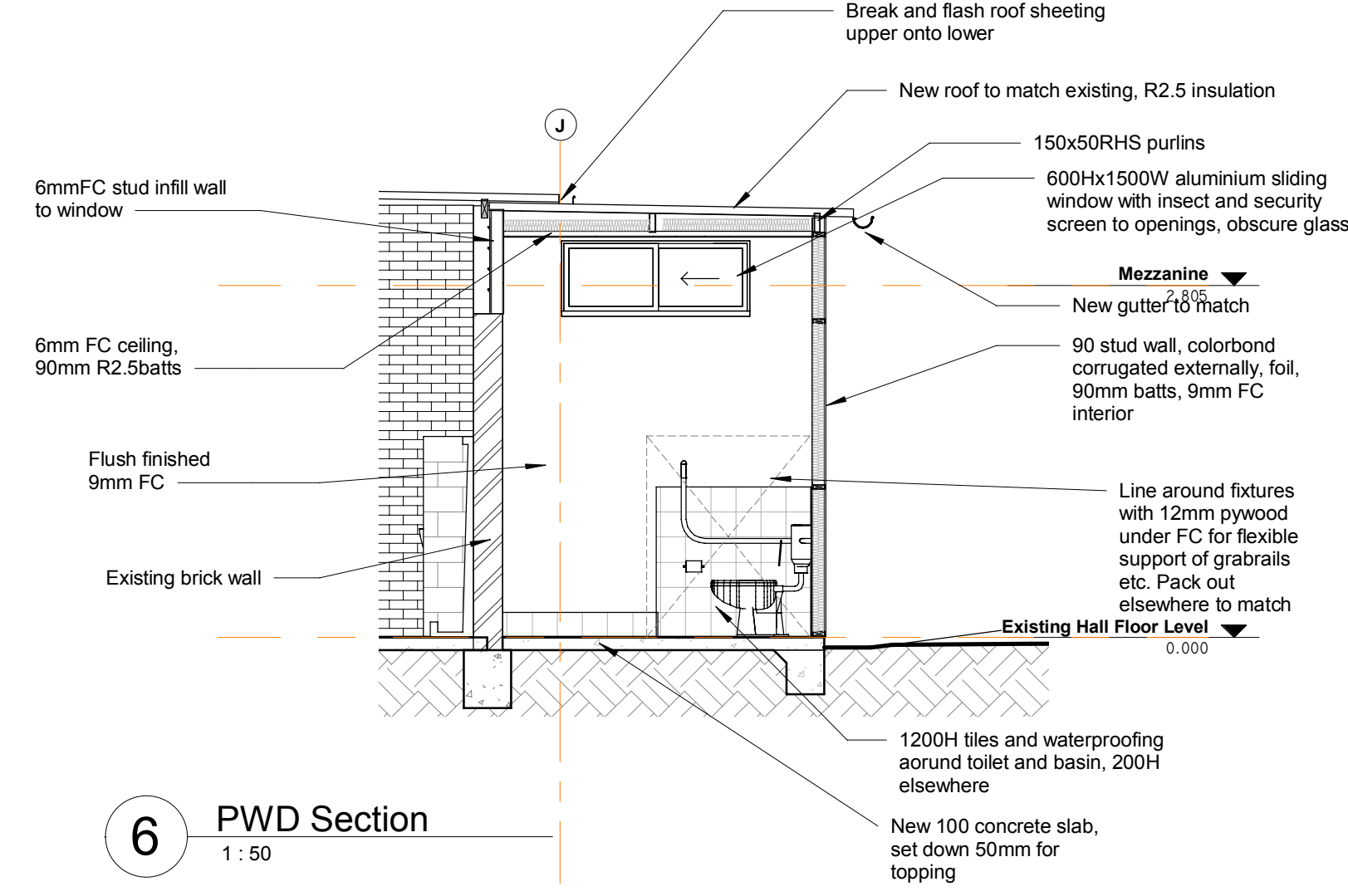
Build a complete accessible toilet enclosure compliant with AS1428.1. Connect to existing bathroom services.
Concrete slab on ground, corrugated clad stud walls, and roof to match existing.
Close off part Men's window at junction.
Solid core door, lock and indicator hardware, sliding glass window.



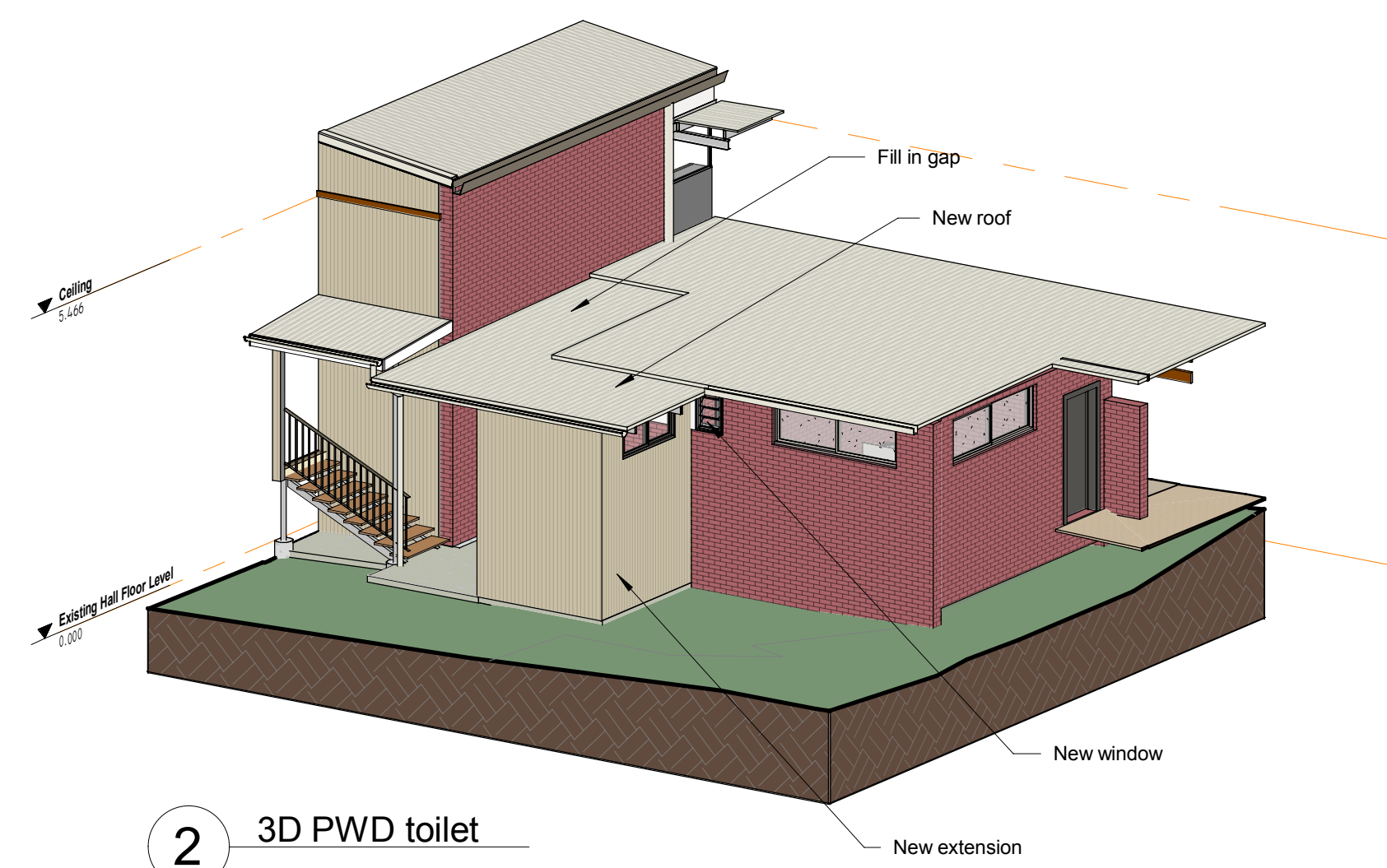
3 PWD toilet elevation
1:100



1 PWD toilet plan
1:50



6 PWD Section
1:50



2 3D PWD toilet

SP 8 Stage Change Room

Build new changeroom to back of stage complete. Masonry and timber walls, timber floor and roof frames. Provide basic lighting and electrical.

200 series reinforced concrete masonry wall, acrylic render finish. Build on RC strip footings

15500Hx450W Aluminium framed louvres with aluminium blades

90 stud, 9mm FC exterior, 20cavity, foil, 90mm batts, 6mm FC internal

Painted 19mm plywood

3 DD15

9mmFC cladding, H3 66x42 timberbattens over joints

90 stud frame screen, vertical corrugated colorbond external, 6mm FC internal, fixed to face of landing

Remove rail if required

New 90Ø column and footing for new roof

Colorbondroof, 5 degrees, flashing and cappings

Basins, plumb to existing septic or new soakage trench

Solid core doors and levers

Colorbondroof, 5 degrees, flashing and cappings

2 Stage Change Room

1:50

4 Stage Change Room Roof

1:50

Colorbond roof on timber rafters

Colorbond fascia and gutter

Load bearing 90 stud wall

Painted 19mm plywood floor

Timber joists

LVL floor beams between masonry walls

Ceiling 5.466

Stage 1.210

Existing Hall Floor Level 0.000

3 Change Room

1:50

1 Change Room West Elevation

1:50

Flash into wall

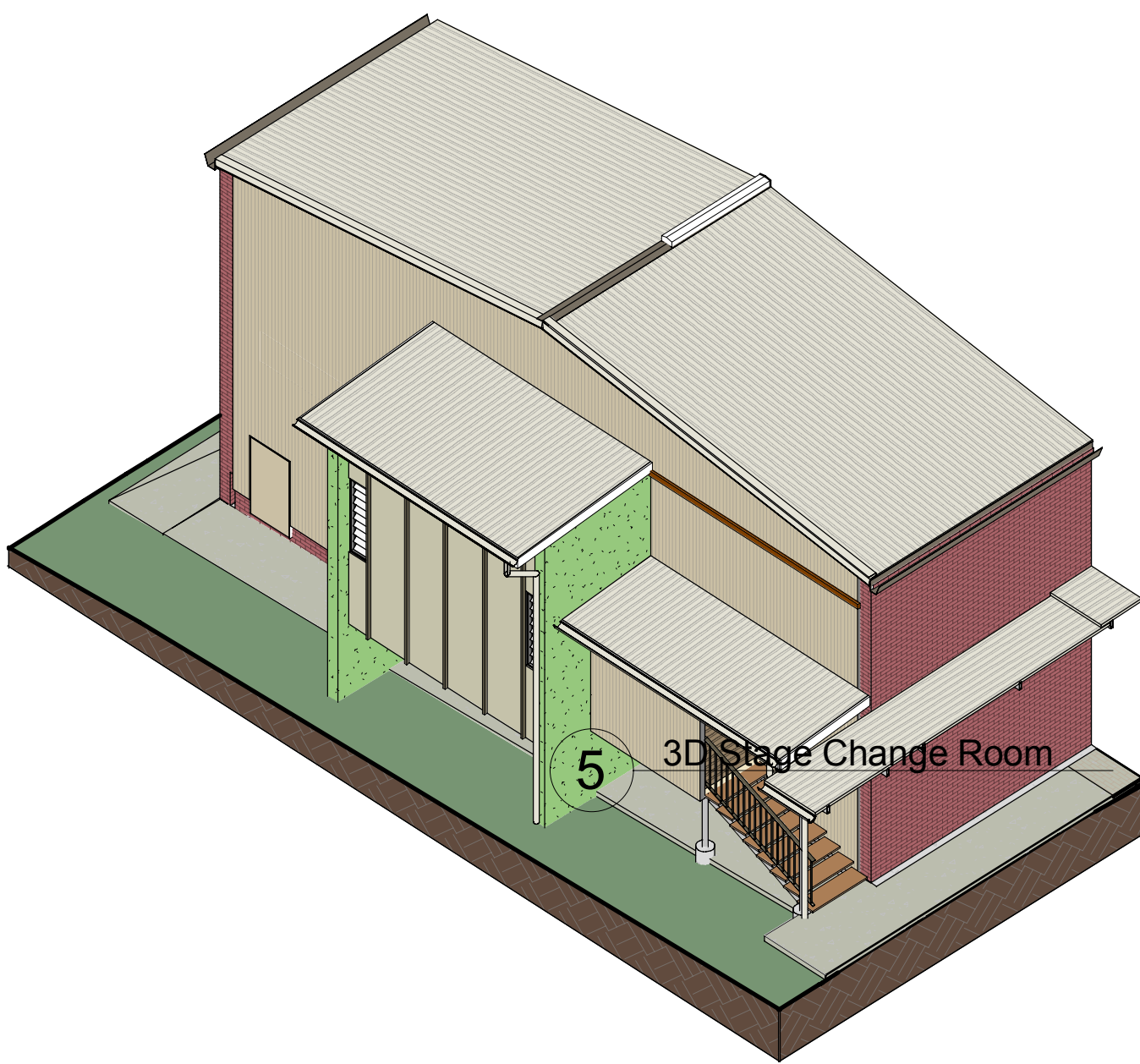
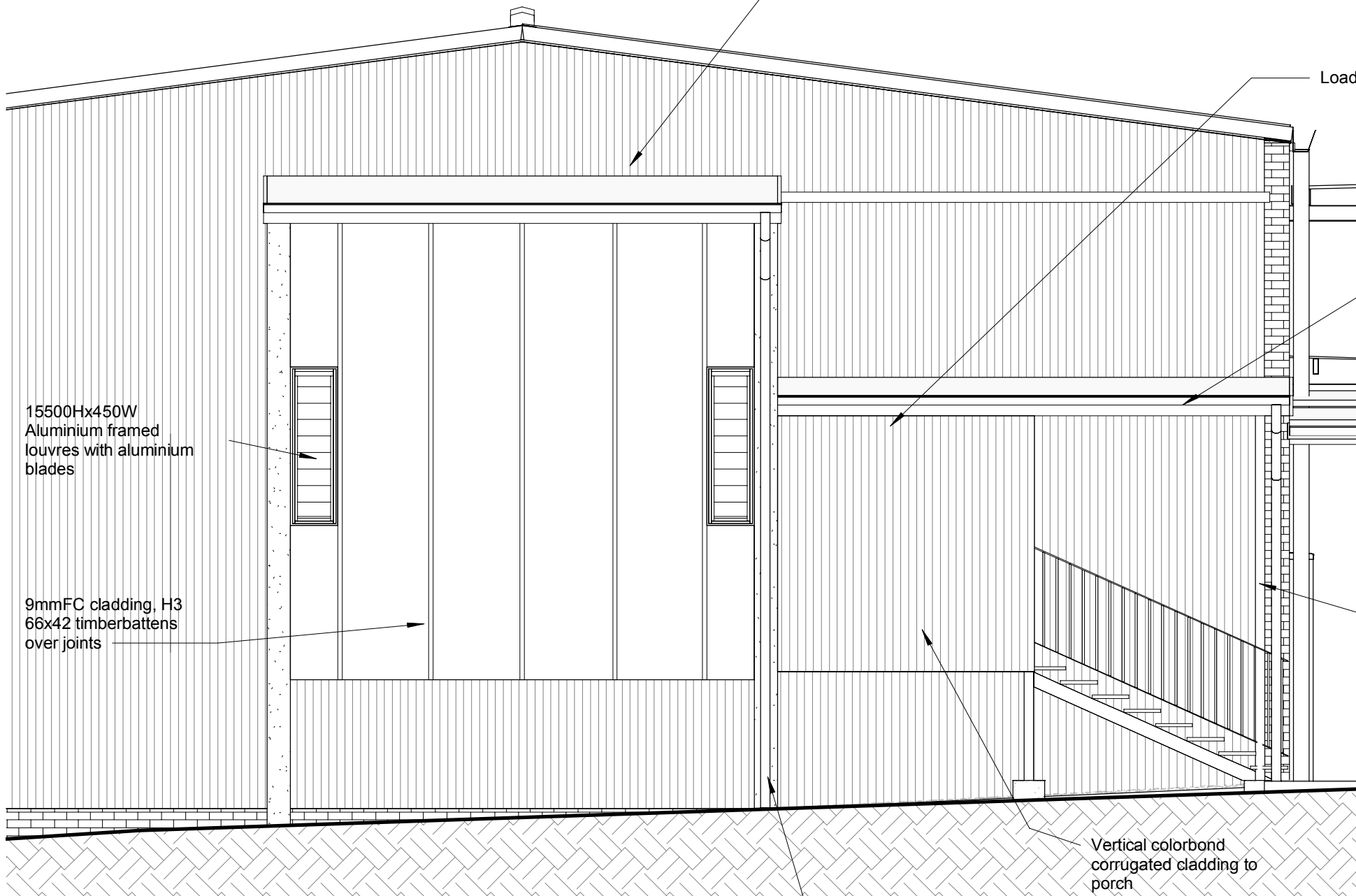
Load bearing stud wall

timber or steel verndah plate

90Ø CHS column

Vertical colorbond, corrugated cladding to porch

Downpipes to ground swales



5 3D Stage Change Room